



AGENDA

REGULAR MEETING OF PICTURE BUTTE TOWN COUNCIL COUNCIL CHAMBERS

Monday, 26th February, 2024 at 6:30 pm

1.0 CALL TO ORDER

2.0 ADOPTION OF THE AGENDA

3.0 ADOPTION OF THE MINUTES

3.1 Regular Council Meeting Minutes – 12th February, 2024

4.0 REQUEST FOR DECISION

4.1 Bylaw No. 943-24 - Land Use Bylaw Amendment – Redesignate lands from Urban Reserve to Residential Multi-Unit – R5

5.0 PUBLIC HEARING

5.1 Bylaw No. 942-24 Butte Landing Area Structure Plan

5.2 Bylaw No. 943-24 Land Use Bylaw Amendments – Redesignate lands from Urban Reserve to Residential Multi-Unit – R5

6.0 DELEGATION

6.1 S/Sgt Mike Numan (7:30 p.m.)

6.2 Mark Lowe, principal PBHS (8:00 p.m.)

7.0 REQUESTS FOR DECISION

7.1 Bylaw No. 942-24 Butte Landing Area Structure Plan (2nd and 3rd Reading)

7.2 Bylaw No. 943-24 Land Use Bylaw Amendment – Redesignate lands from Urban Reserve to Residential Multi-Unit – R5 (2nd and 3rd Reading)

7.3 Umbrella sponsorship package

7.4 Street lights in front of arena

7.5

8.0 MAYOR'S REPORT

9.0 COUNCIL'S REPORT

10.0 ADMINISTRATION'S REPORT

10.1 CAO Report

11.0 CORRESPONDENCE

11.1 AB Municipalities – Provincial budget webinar

11.2 FCSS – Cheers to Volunteer Nominations

12.0 INFORMATIONAL ITEMS

12.1 North County Health Foundation – September 21, 2023 Meeting Minutes

12.2 FCSS – Report to Municipalities: Family Services 2023

12.3 FCSS – Picture Butte Resource Fair advertisement

12.4 FCSS – Board Meeting Minutes – December, 2023

13.0 CLOSED SESSION

13.1 FOIP Act Division 2 Section 16 – Doctor Recruitment

14.0 ADJOURNMENT

MINUTES
OF THE
PICTURE BUTTE TOWN COUNCIL MEETING
HELD IN
COUNCIL CHAMBERS
Monday, February 12th, 2024 AT 6:30 PM

PRESENT: Mayor C. Moore Deputy Mayor C. Papworth Councillor T. Feist
Councillor H. de Kok Councillor C. Neels

ALSO PRESENT: Chief Administrative Officer – K. Davis
Director of Corporate Services – M. Overbeeke
Director of Operations – A. Benson
Administrative Assistant – C. Johnson

1.0 CALL TO ORDER

Mayor Moore called the Regular Council Meeting to order at 6:30 p.m.

2.0 ADOPTION OF THE AGENDA

028 2402 12 MOVED by Deputy Mayor Papworth that the agenda be approved as amended:
ADD: 6.8 Committee of the Whole Budget Meeting Preparations
MOVE: Delegation to 4.0 and Public Hearing to 5.0.
CARRIED

3.0 ADOPTION OF THE MINUTES

3.1 Regular Council Meeting – January 22nd, 2024

029 2402 12 MOVED by Councillor de Kok that the Regular Council Meeting minutes of January 22nd, 2024 be approved as presented.
CARRIED

4.0 DELEGATION

4.1 Dr. Leishman (Closed Session)

030 2402 12 MOVED by Councillor Feist to close the meeting to the public in accordance with Division 2 Section 16 of the Freedom of Information and Protection of Privacy Act to discuss Dr. Leishman's Doctor's Office at 6:31 p.m.
CARRIED

031 2402 12 MOVED by Councillor de Kok to open the meeting to the public at 6:58 p.m.
CARRIED

5.0 PUBLIC HEARING

ORRSC planner, Kattie Schlamp, spoke to the proposed Road Closure Bylaw. The road being closed is the west end of Crescent Avenue due to the new alignment having to be created for the new subdivision. The bylaw is different in the way of the procedure for passing. The bylaw has been advertised and after the public hearing this evening, Council will conduct first reading. The bylaw will then be sent to Alberta Transportation for approval. This approval process is currently taking between 5 to 6 months. Once approved, Council can then conduct 2nd and 3rd reading.

4.1 Submissions

4.1.1 In Person Submissions

4.1.1.1 Ask for Those in Favour

There was no present to speak in favour of the proposed bylaw.

4.1.1.2 Ask for Those Opposed

There was no one present to speak in opposition to the proposed bylaw.

4.1.2 Written Submissions

4.1.2.1 Ask for Those in Favour

There were no written submissions in favour of the proposed bylaw.

4.1.2.2 Ask for Those Opposed

There were now written submissions in opposition to the proposed bylaw.

4.2 Adjourn Public Hearing

Mayor Moore adjourned the public hearing at 7:03 p.m.

6.0 REQUESTS FOR DECISION

6.1 Bylaw No. 941-23 – Road Closure Bylaw

032 2402 12 MOVED by Councillor Feist to approve the first reading of Bylaw No. 941-23 – Road Closure Bylaw.

CARRIED

6.2 Bylaw No. 942-24 – Butte Landing Area Structure Plan

033 2402 12 MOVED by Councillor de Kok to approve the first reading of Bylaw No. 942-24 - Butte Landing Area Structure Plan.

CARRIED

6.3 Bylaw No. 944-24 – Municipal Borrowing Bylaw – Line of Credit

034 2402 12 MOVED by Councillor Neels to approve first reading of Bylaw No. 944-24 – Municipal Borrowing Bylaw – Line of Credit.

CARRIED

035 2402 12 MOVED by Councillor Feist to approve second reading of Bylaw No. 944-24 – Municipal Borrowing Bylaw – Line of Credit.

CARRIED

036 2402 12 MOVED by Deputy Mayor Papworth for permission to conduct third and final reading of Bylaw No. 944-24 – Municipal Borrowing Bylaw – Line of Credit.

CARRIED UNANIMOUSLY

037 2402 12 MOVED by Councillor de Kok to approve third and final reading of Bylaw No. 944-24 – Municipal Borrowing Bylaw – Line of Credit.

CARRIED

6.4 Bylaw No. 945-24 – Health Professional Recruitment and Retention Committee Bylaw

038 2402 12 MOVED by Deputy Mayor Papworth to approve the first reading of Bylaw No. 945-24 - Health Professional Recruitment and Retention Committee Bylaw.

CARRIED

039 2402 12 MOVED by Councillor de Kok to approve the second reading of Bylaw No. 945-24 - Health Professional Recruitment and Retention Committee Bylaw.

CARRIED

040 2402 12 MOVED by Councillor Feist for permission to conduct third and final reading of Bylaw No. 945-24 - Health Professional Recruitment and Retention Committee Bylaw.

CARRIED UNANIMIOUSLY

041 2402 12 MOVED by Councillor Neels to approve third and final reading of Bylaw No. 945-24 - Health Professional Recruitment and Retention Committee Bylaw.

CARRIED

6.5 Council Appointments to the Health Professional Recruitment and Retention Committee

042 2402 12 MOVED by Councillor de Kok to appoint Susan O'Donnell, Gloria Elaschuk, Dave Feist, Teresa Feist, Boyd Folden, Curtis Watson and Mattie Watson to the Health Professional Recruitment and Retention Committee.

CARRIED

6.6 Snow Removal Policy

043 2402 12 MOVED by Councillor Feist to direct Administration to write letters to the business owners on Highway Avenue stating that they are responsible for snow removal in the parking areas in front of their businesses.

CARRIED

6.7 4th Street Sign Install

044 2402 12 MOVED by Deputy Mayor Papworth to authorize Administration to approve the installation of informative signs in appropriate locations on 4th Street sidewalk.

CARRIED

6.8 Committee of the Whole Budget Meeting Preparations

Council will be attending an all-day meeting with Administration on Tuesday, February 20th to discuss the budget. Administration discussed lunch accommodations during that time.

7.0 MAYOR'S REPORT

7.1 Mayor's Report

January 23 Attended a Dr. Recruitment & Retention Committee meeting
January 24 Attended a Community Futures meeting
February 2 Attended a Mayors and Reeves meeting
February 5 Attended a Dr. Recruitment & Retention Committee meeting

045 2402 12 MOVED by Mayor Moore that the Mayor's Report be accepted as presented.

CARRIED

8.0 COUNCIL'S REPORT

8.1 Council's Report

Councillor Feist advised Council of her recent activities:

January 23 Attended a Dr. Recruitment & Retention Committee meeting
February 5 Attended a Dr. Recruitment & Retention Committee meeting
February 7 Attended a Family and Community Support Services meeting
February 8 Attended a County of Lethbridge Community Learning Council meeting

Councillor de Kok advised Council of his recent activities:

January 26 Attended a Southern Alberta Energy from Waste Association meeting
February 2 Attended a Police Engagement Online Webinar
February 7 Attended an Emergency SouthGrow meeting

Deputy Mayor Papworth advised Council of her recent activities:

January 23 Attended a Dr. Recruitment & Retention Committee meeting

January 24 Attended a Green Acres Finance & Audit meeting
 January 31 Attended a Green Acres Board meeting
 February 5 Attended a Dr. Recruitment & Retention Committee meeting
 February 7 Attended a North County Health Foundation Supper meeting
 February 8 Attended the Chamber of Commerce AGM

Councillor Neels advised Council of her recent activities:

January 25 Attended Elected Officials Education Program Training
 January 30 Attended Chinook Arch Library Board Training
 February 2 Attended a Police Engagement Online Webinar
 February 8 Attended a County of Lethbridge Community Learning Council meeting
 February 8 Attended Elected Officials Education Program Training

046 2402 12 MOVED by Councillor Neels that the Council Reports be accepted as presented.

CARRIED

9.0 ADMINISTRATION'S REPORT

9.1 CAO Report

047 2402 12 MOVED by Councillor Neels to accept the CAO Report as presented.

CARRIED

9.1.1 Director of Operations Report

048 2402 12 MOVED by Councillor de Kok to accept the Director of Operations Report as presented.

CARRIED

10.0 CORRESPONDENCE

10.1 Lethbridge County – Health Professional Recruitment and retention Committee appointment
 10.2 Alberta Municipalities – Resolution submissions
 10.3 Southern Alberta Economic Summit
 10.4 Municipal Affairs – Hon. Ric McIver meetings
 10.5 National Police Federation lobbying request

049 2402 12 MOVED by Councillor Feist to receive and file Correspondence 10.1-10.5.

CARRIED

11.0 INFORMATIONAL ITEMS

11.1 FCSS Healthier Together Resource Fair Poster
 11.2 Environment and Protected Areas – Drought preparation
 11.3 Health Professional Recruitment and Retention Committee – Meeting Minutes – January, 2024

050 2402 12 MOVED by Councillor Neels to receive and file Informational Items 11.1 – 11.3.

CARRIED

12.0 CLOSED SESSION

12.1 FOIP Act Division 2 Section 20 – Wastewater Compliance Notice

051 2402 12 MOVED by Councillor de Kok to close the meeting to the public in accordance with Division 2 Section 20 of the Freedom of Information and Protection of Privacy Act to discuss Wastewater Compliance Notice at 8:00 p.m.

CARRIED

052 2402 12 MOVED by Councillor de Kok to open the meeting to the public at 8:56 p.m.

CARRIED

13.0 ADJOURNMENT

The next Regular Council Meeting is scheduled for February 26th, 2024 beginning at 6:30 p.m.

053 2402 12

MOVED by Councillor Neels that the Regular Council Meeting adjourn at 8:57 p.m.

CARRIED

Cathy Moore
Mayor

Keith Davis
Chief Administrative Officer

Memo

To: Keith Davis, CAO Town of Picture Butte
Town of Picture Butte Council

File: 5D-82

From: Kattie Schlamp, ORRSC Planner

Date: February 22, 2024

Re: Proposed Bylaw No. 943-24 Land Use Redesignation of Lot 2, Block 3, Plan 231 1035

The purpose of the redesignation is to align the designated land use with the uses outlined in the Butte Landing Area Structure Plan (Bylaw No. 942-24) being contemplated for the land.

Stantec Consulting Ltd. on behalf of Oak Point Developments Inc. has applied to redesignated Lot 2, Block 3, Plan 231 1035 from “Urban Reserve – UR” to “Residential Multi-Unit – R5” in order to accommodate the future development of the lands for a variety of multi-unit dwelling types within the Butte Landing Area Structure Plan (ASP) area to provide diversity of housing in Picture Butte.

The “Residential Multi-Unit – R5” land use district allows for a variety of dwelling types including semi-detached dwellings, row housing, and multi-unit buildings. The exact ownership model for dwellings within the ASP area will be determined at the time of subdivision and development of the lands. In considering the adoption of Bylaw No. 943-24, Council should consider if the lands meet the intent of the R5 land use district are suitable for the uses included in the district, as well as having regard for the Butte Landing ASP also being considered by Council.

The intent of the R5 district is:

The purpose of this district is to accommodate a variety of residential housing options by providing high-quality multi-unit dwelling environments, integrated into either existing or proposed residential neighbourhoods.

The uses included as permitted and discretionary uses within the district have been enclosed for Council’s consideration.

The Developer has also proposed the use of basement suites within their ASP however Land Use Bylaw No. 841-15 does not afford the opportunity to place a secondary suite within anything but a single-detached dwelling at this time. Should the LUB be amended in the future to add the use to the R5 district, then secondary suites could be considered at that time.

A notice of the draft Bylaw 943-24, Land Use Redesignation of Lot 2, Block 3, Plan 231 1035 was mailed directly to adjacent landowners, the County of Lethbridge, and affected agencies in January. An ad was placed in the newspaper for two consecutive weeks to notify the broader public of the Public Hearing for consideration of this bylaw. The responses provided as of February 22, 2023, have been included and considered in the memo for Bylaw No. 942-24 Butte Landing Area Structure Plan.

February 22, 2024

If proposed Bylaw No. 943-24 is adopted to redesignate the Butte Landing area from "Urban Reserve – UR" to "Residential Multi-Unit – R5" then the Developer may subdivide and develop the lands in accordance with the ASP and Land Use Bylaw No. 841-15.

RECOMMENDATION

That Council complete first, second and third reading and adopt Bylaw No. 943-24 Land Use Bylaw Amendment as presented.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "K. Schlamp", with a large, stylized flourish at the end.

Kattie Schlamp
ORRSC Planner

Land Use Bylaw No 841-15

Residential Multi-Unit – R5 Land Use District Listed Uses

1. PERMITTED USES

Accessory buildings and structures
Day homes
Dwellings:

- Multi-unit up to 4 units
- Row dwelling up to 6 units
- Semi-detached - all types

Home occupations A
Signs Type 1 (in accordance with Part 5)
Solar collectors, individual (see Part 4)
Temporary shipping container (see Part 3 and Part 4, Section 40)

PROHIBITED USES

Shipping containers

- ◆ *Any use which is not listed as either a Permitted or Discretionary Use, or is not ruled to be Similar to a Permitted or Discretionary Use in accordance with Part 1, Section 31, is a Prohibited Use.*

DISCRETIONARY USES

TYPE A

Accessory uses
Day care facilities
Dwellings:

- Multi-unit more than 4 units
- Row dwelling with more than 6 units

Home occupations B
Lodging or boarding houses
Parks, playgrounds and open spaces
Portable garages (fabric buildings) and storage structures
Public and private utilities
Senior Citizen Housing
Small wind energy system – Type A (see Part 4, Section 42)

TYPE B – Development Officer

Accessory buildings and structures, portable garages (see Part 4)
Temporary uses

**TOWN OF PICTURE BUTTE
IN THE PROVINCE OF ALBERTA
BYLAW NO. 943-24**

A BYLAW OF THE TOWN OF PICTURE BUTTE IN THE PROVINCE OF ALBERTA, TO AMEND BYLAW NO. 841-15, BEING THE MUNICIPAL LAND USE BYLAW.

WHEREAS the purpose of the proposed amendment is to redesignate land legally described as: Lots 2, Block 3, Plan 2311035, from 'Urban Reserve – UR' to 'Residential Multi-unit – R5', as shown on the map in Schedule 'A' attached hereto to accommodate the development of a multi-unit rowhouse residential building;

AND WHEREAS a Public Hearing, as required by Section 692 of the Municipal Government Act, will be held prior to second reading of this Bylaw;

NOW THEREFORE, under the authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council of the Town of Picture Butte, in the Province of Alberta, duly assembled does hereby enact the following:

1. The land described as Lot 2, Block 3, Plan 2311035 as shown on the attached Schedule 'A' be designated as Residential Multi-unit – R5.
2. That the Land Use Districts map of the Town of Picture Butte Land Use Bylaw No. 841-15 be amended to reflect this designation.
3. Bylaw No. 841-15 being the Land Use Bylaw is hereby amended.
4. Final formatting and consolidation shall take place following the passage of the bylaw.
5. This bylaw comes into effect upon third and final reading hereof.

READ a **first** time this _____ day of February 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

READ a **second** time this ____ day of _____ 2024.

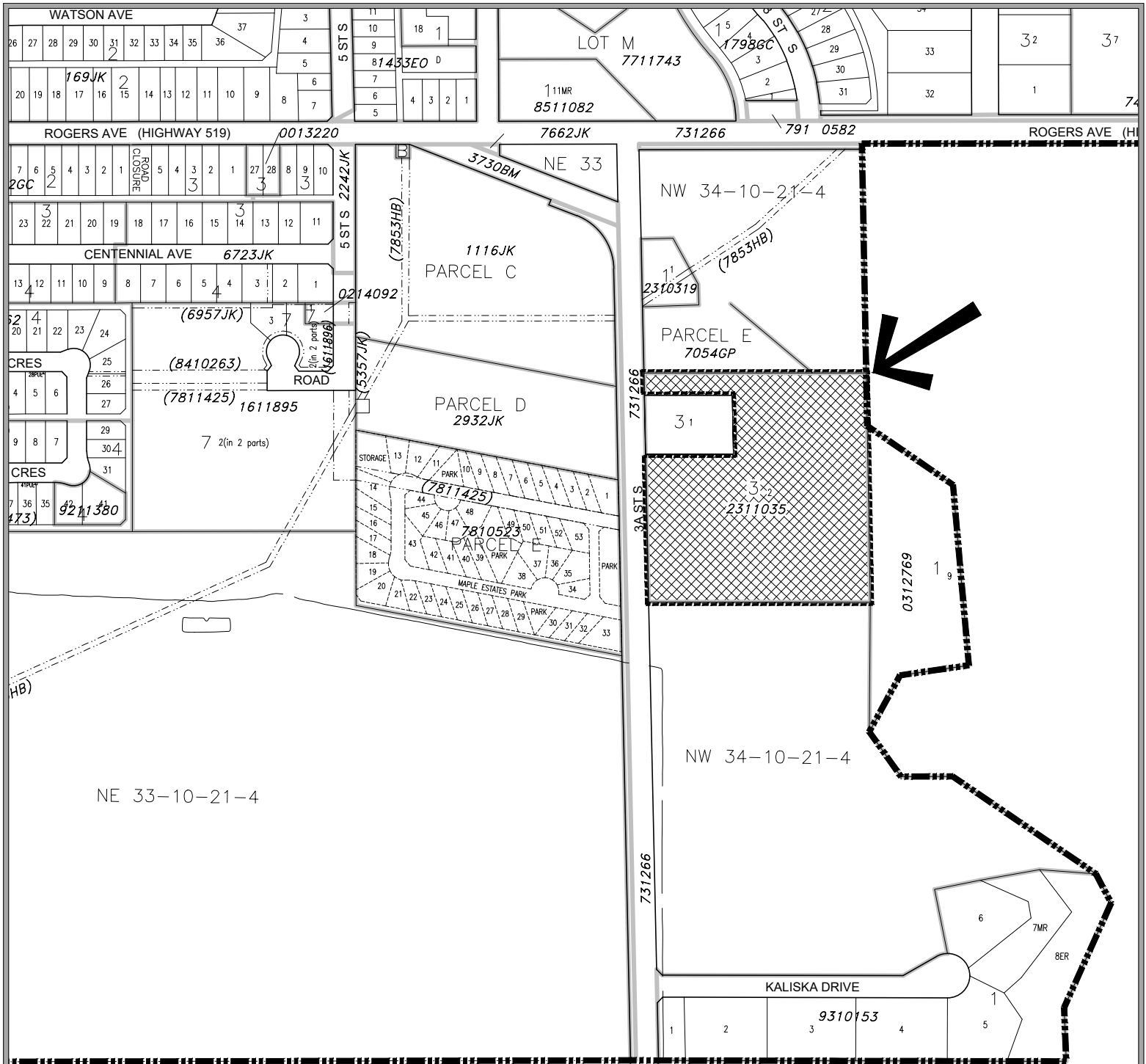
Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

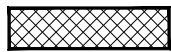
READ a **third** time and finally passed this ____ day of _____ 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis



LAND USE DISTRICT REDESIGNATION SCHEDULE 'A'



FROM: URBAN RESERVE – UR
TO: RESIDENTIAL MULTI-UNIT – R5

LOT 2, BLOCK 3, PLAN 2311035
WITHIN NW 1/4 SEC 34, TWP 10, RGE 21, W 4 M
MUNICIPALITY: TOWN OF PICTURE BUTTE
DATE: JANUARY 26, 2024

Bylaw #: 943-24
Date: _____



MAP PREPARED BY:
OLDMAN RIVER REGIONAL SERVICES COMMISSION
3105 16th AVENUE NORTH, LETHBRIDGE, ALBERTA T1H 5E8
TEL. 403-329-1344

"NOT RESPONSIBLE FOR ERRORS OR OMISSIONS"



Town of Picture Butte
Box 670, Picture Butte, AB T0K 1V0

APPLICATION FOR A
LAND USE BYLAW AMENDMENT

Date of Application: January 25, 2024

Table with 2 columns and 2 rows for office use only, containing fields for Bylaw No. and Date Deemed Complete.

A refusal is not appealable and a subsequent application for amendment involving the same lot and/or the same or similar use may not be made for at least 6 months after the date of refusal.

IMPORTANT NOTE: Although the Designated Officer is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as official consent.

APPLICANT INFORMATION

Name of Applicant: Christina Lombardo
Mailing Address: 325 25 St SE #200
Phone: 403-207-7569
Municipality: Calgary, AB
Postal Code: T2A 7H8

Is the applicant the owner of the property? [] Yes [X] No
IF "NO" please complete box below

Owner information box containing Name of Owner (Oak Pointe Inc. c/o Josh Marti), Mailing Address (Box 174), Municipality (Diamond City, AB), Postal Code (T0K 0T0), and Applicant's interest in the property (Other: Consultant).

PROPERTY INFORMATION

Municipal Address: 407 3A ST S
Legal Description: Lot(s) 2, Bloc 3, Plan 231 1035
OR Quarter, Section, Township, Range

AMENDMENT INFORMATION

What is the proposed amendment?

Text Amendment

Land Use Redesignation

IF TEXT AMENDMENT:

For text amendments to the *Land Use Bylaw*, **attach** a description including:

- The section to be amended;
- The change(s) to the text; and
- Reasons for the change(s).

IF LAND USE REDESIGNATION:

Current Land Use Designation: URBAN RESERVE (UR)

**Proposed Land Use Designation
(if applicable):** RESIDENTIAL MULTI-UNIT (R5)

Map Attached

Section 51 of the *Land Use Bylaw* regulates the information required to accompany an application for redesignation. Please attach a descriptive narrative detailing:

- the proposed designation and future land use(s);
- if and how the proposed redesignation is consistent with applicable statutory plans;
- the compatibility of the proposal with surrounding uses and zoning;
- the development suitability or potential of the site, including identification of any constraints and/or hazard areas (e.g. easements, soil conditions, topography, drainage, etc.);
- availability of facilities and services (sewage disposal, domestic water, gas, electricity, fire and police protection, schools, etc.) to serve the subject property while maintaining adequate levels of service to existing development; and
- Any potential impacts on public roads.

In addition to the descriptive narrative, an Area Structure Plan or Conceptual Design Scheme may be required in conjunction with this application where:

- redesignating land from Urban Reserve to another district;
- multiple parcels of land are involved;
- several pieces of fragmented land are adjacent to the proposal;
- internal public roads would be required;
- municipal services would need to be extended; or
- required by Council or the Subdivision and Development Authority.

The Designated Officer or the Subdivision and Development Authority may also require a:

- geotechnical report; and/or
- evaluation of surface drainage and any other information

if deemed necessary.

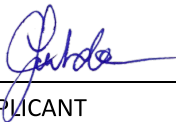
SITE PLAN

Plans and drawings, in sufficient detail to enable adequate consideration of the application, must be submitted in **duplicate** with this application, together with a plan sufficient to identify the land. It is desirable that the plans and drawings should be on a scale appropriate to the development. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared. Council may request additional information.

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

IMPORTANT: This information may also be shared with appropriate government/other agencies and may also be kept on file by those agencies. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP).



APPLICANT

Registered Owner (if not the same as applicant)

The personal information provided as part of this application is collected under section 39 of the Safety Codes Act and sections 303 and 295 of the Municipal Government Act and in accordance with section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, safety codes compliance verification and monitoring and property assessment purposes. If you have any questions about the collection or use of the personal information provided, please contact the Chief Administrative Officer at the Town of Picture Butte.

January 26, 2024

Project/File: 116549067

Keith Davis

Chief Administrative Officer
Town of Picture Butte
120 – 4th Street North, Box 670
Picture Butte, AB T0K 1V0

Dear Mr. Davis,

Reference: Butte Landing – Area Structure Plan and Land Use Amendment Application

On behalf of Oak Pointe Ltd. ('Oak Pointe'), Stantec Consulting Ltd. ('Stantec') is pleased to submit the following Area Structure Plan (ASP) and Land Use Amendment (LUA) application for "Butte Landing" for consideration by the Town of Picture Butte.

Application Context

As shown in the **Figure 1.0** (attached), this LUA application applies to land located within Lot 2, Block 1, Plan 231 1035 (legally described within quarter section NW-34-10-21-W4M), and proposes the following land use designations for the subject lands, from Urban Reserve (UR), to:

- Residential Multi-Unit (R5).

A total area of ±3.72 ha (±9.18 ac) is included in this application. This LUA application responds to the population growth and need for additional housing seen in the region. The subject lands create an opportunity to bridge the gap in the market with a housing product that is not typically seen in Town and captures a higher density product to create an economically feasible development. This LUA application is supported by the submission of the Butte Landing Area Structure Plan.

Policy Framework

The subject lands are located within the Prepare Design, Policy 6.2.7 within the Municipal Development Plan (Bylaw No. 786-04). As noted within Section 4.2, a consideration for the Town is that "in the future, the lack of multi-unit accommodation will affect the ability of the town to accommodate a diverse labour force and a variety of age groups". Currently, the Town primarily consists of single-family dwellings which do not provide sufficient variation in housing products. Additionally, property maintenance requirements may not be suitable or allow for flexibility to an aging population. Development enabled within the subject lands will contribute to the desired diversity, consisting of multi-unit dwellings, supporting the goals of Council as listed within the MDP.

Reference: Butte Landing – Area Structure Plan and Land Use Amendment Application

Technical Considerations

This application is supported by numerous studies that have been conducted in support of the ASP and were used to inform key planning considerations throughout the applications including:

- An Environmental Site Assessment;
- A Geotechnical Evaluation and Slope Stability Analysis;
- Historical Resources Act Approval; and
- Transportation Impact Assessment.

Application Requirements

In fulfilling the requirements specific to this LUA application, please find the following materials enclosed:

- A copy of the LUA application form;
- A plan indicating the proposed land use districts and boundaries;
- A letter of authorization from Oak Pointe Ltd. ('Oak Pointe'), the registered owner of the property, allowing Stantec to act on their behalf;
- A cheque of \$500.00 to support this LUA application as outlined in the Fee Schedule Policy: Land Use Bylaw Amendments – sent directly to the Town by Oak Pointe; and
- A current copy of titles.

Closing

We trust this letter is to your satisfaction. Should you have any questions, or require further information please contact the undersigned.

Sincerely,



Christina Lombardo

Urban Planner

Phone: (403) 207-7569

christina.lombardo@stantec.com

Attachment: Land Use Application Form
Figure 1.0 Land Use Amendment

c. Kattie Schlamp, Oldman River Regional Services Commission
Marvin Van Maanen, Stantec Consulting
Josh Marti, Oak Pointe

mf \ca0207-pfss01\shared_projects\116549067\application

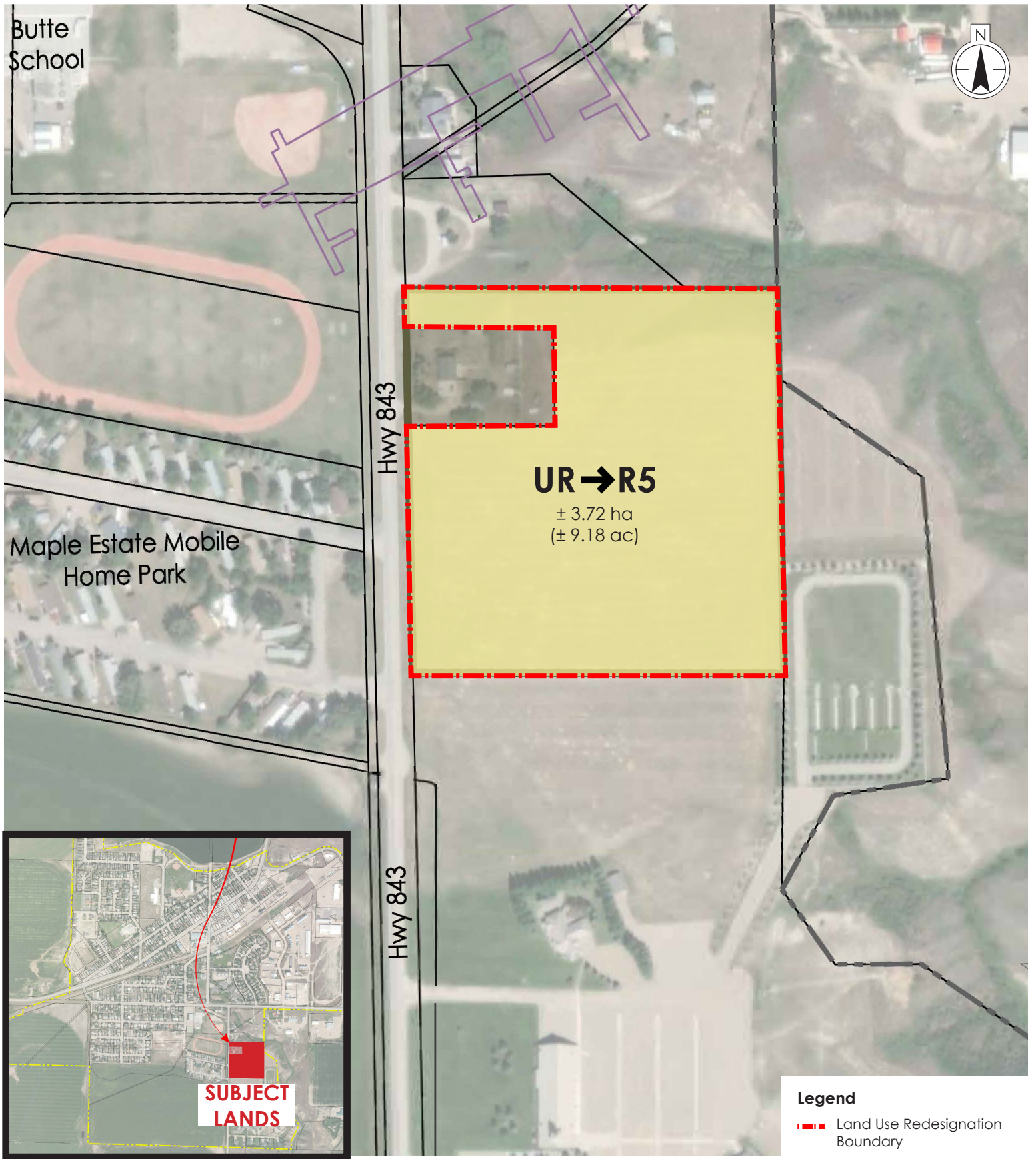


Figure 1.0 | BUTTE LANDING

Map Source: Source: Esri, HERE, Garmin, Earthstar Geographies, (c) OpenStreetMap contributors, and the GIS user community

Land Use Amendment

Plan 2311035, Block 3, Lot 2

Prepared For: Oak Pointe Inc.
\\ca0207-ppfss01\shared_projects\116549067



January 2024
116549067

CONCEPT ONLY: THIS DRAWING IS AN ARTISTIC REPRESENTATION OF DESIGNS PREPARED BY STANTEC CONSULTING LTD. IT IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. COPYRIGHT RESERVED.

Do Public Hearing Here



Memo

To: Keith Davis, CAO Town of Picture Butte
Town of Picture Butte Council

File: 5D-81

From: Kattie Schlamp, ORRSC Planner

Date: February 22, 2024

Re: Proposed Bylaw No. 942-24 Butte Landing Area Structure Plan

Stantec Consulting Ltd. on behalf of Oak Point Developments Inc. has created the Butte Landing Area Structure Plan (ASP) to provide a vision for the orderly and efficient development of a 10.22 acre site in southeast Picture Butte.

Stantec and Oak Point Developments have consulted with the Town and ORRSC to ensure the ASP is in compliance with the Municipal Development Plan (MDP), Intermunicipal Development Plan (IDP), and considers the planning, transportation, and infrastructure and servicing needs to support the development. Specifically, the ASP seeks to diversify the housing stock in Picture Butte by creating a number of multi-unit dwellings which is supported by MDP policy 7.1.3 which states:

7.1.3 Developers should be encouraged to provide a diversity of housing types. A variety of housing may be promoted in areas of town such as:

- In new area structure plans being adopted by council,*
- On sites where existing houses are to be redeveloped,*
- On larger sites that may become available such as the hospital site or the former water reservoir site,*
- Area of land east of the manufactured home park – the town owns some of this land.*

If the ASP receives all three readings and comes into force, the Developer may apply to subdivide the lands and develop the site in accordance with the ASP, Land Use Bylaw No. 841-15, and the relevant plans and studies conducted in conjunction with the ASP.

A notice of the draft of Bylaw 942-24, the Butte Landing ASP was mailed directly to adjacent landowners, the Lethbridge County, and affected agencies in January with a link to access the ASP and corresponding plans and studies. Following first reading by Council on February 12, 2024, an ad was placed in the newspaper for two consecutive weeks to notify the public of the Public Hearing for consideration of this bylaw. As of February 22, 2023, the following comments have been provided.

AT Comments

Enclosed

Lethbridge County Comments

Thank you for the opportunity to review and provide comments on the proposed Area Structure Plan and Rezoning.

The County has no concerns with the proposal but has the following comments:

- The Town could consider taking Environmental Reserve for the lands adjacent to the coulee draw (north of the top of bank) versus Municipal Reserve.
- The Planning statistics on page 12 do not seem to be the same as those noted on Map 6 (specific to the Municipal Reserve).
- Map A1 – Conceptual Site Layout. The legend shows the dashed line as the Town of Picture Butte Boundary, but I believe that line is in reference to the top of bank boundary.
- That Lethbridge County has the opportunity to review the final stormwater management plan to ensure that any drainage planned to go into the County is properly managed.

ORRSC Planners Comments: Section 4.4 of the ASP should be amended to reflect the 0.42 acres of Open Space identified in Map 6 are not included in the Municipal Reserve Area.

Map A1 should be amended to identify the dashed line as the Development Setback Line, not the Town of Picture Butte Boundary.

Alberta Health Services Comments

Enclosed.

ORRSC Planners Comments: The last known activity at the former coal mine took place in 1935. The abandoned mine is located north of the lands in question. Due to the length of time the mine has been abandoned, it is believed that there are no open access points to the mine.

Further comments provided by AHS provide commentary on AHS' Safe Healthy Environments design perspectives, in which they indicate the plan meets many of the standards through location and neighbourhood design. It was noted that access to the high school and the playground may draw residents across highway 843 and this should be considered when designing intersections. These comments will be considered at the time of development.

Agency Comments

TELUS Communications Inc. will require a utility right of way for the existing facilities and in order to provide service to this new development.

Fortis Alberta and Lethbridge Northern Irrigation District have indicated they have no concerns with the proposed plan.

No other agencies provided comment.

Resident Comments

Two letters were received from adjacent landowners or residents of Picture Butte outlining concerns about the proposed development. The letters have been enclosed for Council's consideration.

ORRSC Planner Comments: The ASP reflects an overall vision for the use of the lands in question, including land use, servicing, and transportation routes, however the project is still required to proceed with subdivision and development approvals and may vary from the concept provided within the ASP. As an ASP is not required to define the ownership type or specifically outline how the lands may be subdivided, however subdivision and development must be consistent with the ASP. The parcel may be subdivided in accordance with Land Use Bylaw No. 841-15 to create individual titles for fee simple ownership, may be developed into a bare land condominium plan, or could remain as a single title. Regardless of ownership type, the dwellings can become rental units.

Council is cautioned against making a decision based on the potential occupant(s) of the site and rather should focus on the whether or not the proposed use of land is suitable for the proposed location.

Highways 843 & 519 are under the care and control of Alberta Transportation and Economic Corridors (AT). The Traffic Impact Assessment (TIA) is under review by AT and must be approved prior to subdivision and development taking place.

Additional Comments

As previously stated, the care and control of Highways 843 & 519 are with AT and therefore the TIA requires the approval of AT to be finalized. The development is within 300 meters of the highway right-of-way, which is the referral area for all subdivision and development applications. This means applications for subdivision and development of the site will require further review by AT and may be subject to a Roadside Development Permit. If accepted by AT, the TIA indicates that no intersection improvements are warranted as a result of the development. If AT requires changes to the TIA and intersection improvements are warranted, they would be the responsibility and at the cost of the Developer.

Section 5.1 (page 15) – typo in the second paragraph, last sentence should read “Access and internal transportation system will allow for two-**way** traffic and allow for two points of emergency access to the development.”

All the proposed amendments resulting from the submissions made on the ASP referral notice are fairly minor and mainly seek to clarify a few items. The proposed ASP amendments are included in Bylaw No. 942-24 'Schedule B' for ease of adoption.

February 22, 2024

RECOMMENDATION

That Council complete second and third reading and adopt ASP Bylaw No. 942-24 as amended.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'K. Schlamp', with a large, stylized flourish at the end.

Kattie Schlamp
ORRSC Planner

Attachments

- Bylaw 942-24
- Schedule B
- AT Comments
- AHS Comments
- Resident Comments (x2)

**TOWN OF PICTURE BUTTE
IN THE PROVINCE OF ALBERTA
BYLAW NO. 942-24**

A BYLAW OF THE TOWN OF PICTURE BUTTE IN THE PROVINCE OF ALBERTA TO ADOPT BYLAW 942-24 THE BUTTE LANDING AREA STRUCTURE PLAN.

WHEREAS in accordance with Section 633 of the Municipal Government Act, RSA-2000, Chapter M-26, and all amendments thereto, the Council of the Town of Picture Butte deems it advisable to adopt the Butte Landing Area Structure Plan Bylaw No. 942-24 as provided in Schedule "A";

AND WHEREAS the purpose of proposed Bylaw No. 942-24 is to adopt an Area Structure Plan that provides a framework for dealing with future subdivision and development of lands within the plan area with a diversity of multi-unit housing options;

AND WHEREAS the municipality wishes to provide for orderly growth and development to occur;

AND WHEREAS a Public Hearing, as required by Section 692 of the Municipal Government Act, will be held prior to second reading of this Bylaw;

NOW THEREFORE, the Council of the Town of Picture Butte in the Province of Alberta hereby enacts as follows:

1. This bylaw may be cited as the Butte Landing Area Structure Plan.
2. That the Butte Landing Area Structure Plan is hereby amended as per the clauses in the attached Schedule "B".
3. That the Butte Landing Area Structure Plan attached hereto as Schedule "A" and forming Bylaw No. 942-24 be adopted as amended.
4. This bylaw comes into effect upon third and final reading hereof.

READ a **first** time this 12th day of February 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

READ a **second** time this ____ day of _____ 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

READ a **third** time and finally passed this ____ day of _____ 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

Bylaw No. 942-24

Schedule 'B'

Amendments to add to the Butte Landing Area Structure Plan (Bylaw No. 942-24) since the granting of first reading by Council. To be reflected in the final adopted plan document.

Amend Section 4.4, Plan Statistics (page 12) – to read Municipal Reserve/Open Space to align with the figures on Map 6, Land Use Concept (page 13).

Add to Section 5.1, Transportation Network (page 15) the following text (in italicized bold):

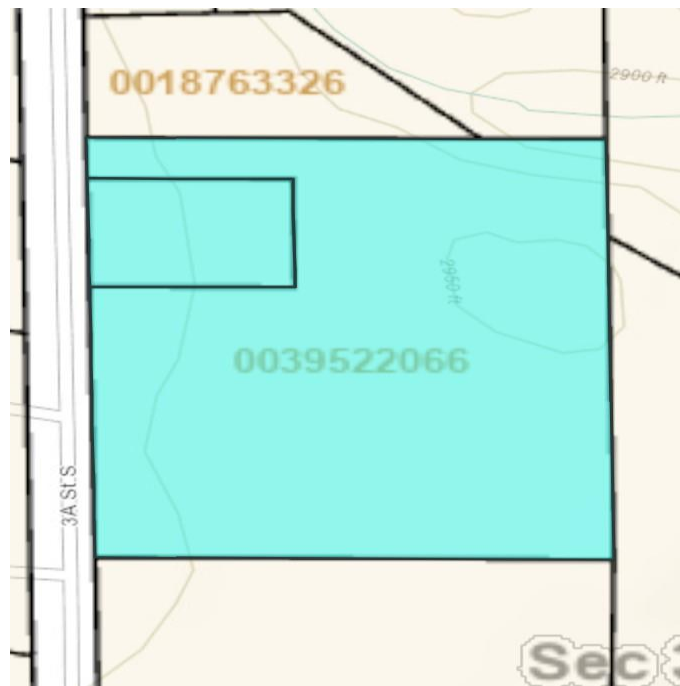
Access and internal transportation system will allow for two-**way** traffic and allow for two points of emergency access to the development.

Amend Map 1A (Appendix A) – to identify the dashed line in the legend as the 'Development Setback Line' rather than the 'Town of Picture Butte Boundary'.

Transportation and Economic Corridors Notice of Referral Decision

Statutory Plan in Proximity of a Provincial Highway

Municipality File Number:	Bylaws 942-24 & 943-24	Highway(s):	843, 25, 519
Legal Land Location:	QS-NW SEC-34 TWP-010 RGE-21 MER-4	Municipality:	Lethbridge County, Picture Butte
Decision By:	Leah Olsen	Issuing Office:	Southern Region / Lethbridge
Issued Date:	2024-02-22 11:08:16	AT Reference #:	RPATH0040469
Description of Development:	Proposed Bylaw 942-24 is to adopt the proposed Butte Landing Area Structure Plan. The ASP and related documents can be found at the link below should you have issues accessing them within RPATH. http://www.picturebutte.ca/content.php?p=37 Proposed Bylaw 943-24 is to redesignate Lot 2, Block 3, Plan 2311035 within the ASP area from Urban Reserve - UR to Residential Multi-Unit - R5		



This will acknowledge receipt of your circulation regarding the above noted proposal. Transportation and Economic Corridors primary concern is protecting the safe and effective operation of provincial highway infrastructure, and planning for the future needs of the highway network in proximity to the proposed development(s).

Transportation and Economic Corridors offers the following comments and observations with respect to the proposed development(s):

The Area Structure Plan (ASP) will provide for the orderly and efficient development of the plan area. The document reflects sound planning principles and development strategies. The document is also well organized and thoroughly addresses all the issues that are pertinent when establishing a framework for subsequent land use redesignation, subdivision and development within a plan area.

The Traffic Impact Assessment (TIA) should be submitted as a separate document so our department can provide direct comments on the TIA.

Transportation and Economic Corridors accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof. Noise impact and the need for attenuation should be thoroughly assessed. The applicant is advised that provisions for noise attenuation are the sole responsibility of the developer and should be incorporated as required into the subdivision/development design.

Any peripheral lighting (yard lights/area lighting) that may be considered a distraction to the motoring public or deemed to create a traffic hazard will not be permitted.

- Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable
- Pursuant to 618.4(1) of the Municipal Government Act, the department expects that the Municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, in accordance with Policy 7 of the Provincial Land Use Policies.

Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information.



Issued by **Leah Olsen, Development and Planning Tech**, on **2024-0222 11:08:16** on behalf of the Minister of Transportation and Economic Corridors pursuant to *Ministerial Order 52/20 – Department of Transportation and Economic Corridors Delegation of Authority*



**Alberta Health
Services**

Healthy Albertans.
Healthy Communities.
Together.



February 8, 2024

Attention:
Keith Davis
CAO
Town of Picture Butte

RE: Butte Landing ASP

In response to the request for comment on the above noted area structure plan, we have reviewed the information and wish to provide the following comments:

- The former coal mine was mentioned in the application. This reviewer assumed there are no open access points to the mine. Any access points should be sealed even if they are not on the related lots.
- Alberta Health Services does not object to this subdivision provided all other pertinent bylaws, regulations and standards are complied with.

If you require any further information, please call me at 403-562-5030.

Wade Goin, B.Sc., BEH, CPHI(c)
Executive Officer/Public Health Inspector
Alberta Health Services

February 8, 2024

Healthy Albertans.
Healthy Communities.
Together.

Attention:
Keith Davis
CAO
Town of Picture Butte

RE: Butte Landing ASP

Thank you for sharing the area structure plan. It was reviewed by Alberta Health Services-Safe Healthy Environments (AHS-SHE) from a healthy community by design perspective. These standards for designing healthy communities are explained in detail in Healthy Built Environment Linkages: a toolkit for design, planning and health. This document is available at: <http://www.bccdc.ca/health-professionals/professional-resources/healthy-built-environment-linkages-toolkit>. We encourage you to consider these five principles in strategic conversations.

Neighbourhood Design: Complete, compact, communities where people can live, work and play support physical, mental and social health. Connected neighbourhoods provide social supports and access to amenities to meet daily needs.

- The plan provides multi-unit housing, a church, and senior's care all in a small area. The greater community provides other services within a relatively small area as well.

AHS-SHE supports developing complete, compact and connected communities.

Transportation Networks: Prioritizing infrastructure to support active transportation modes can increase physical activity and reduce environmental impact. Connected, safe and accessible routes provide healthy mobility options for all.

- Some examples of ways to encourage walking/ cycling include safe paths, ample benches or resting spaces, lighting, and protection from the weather (such as trees for shade).
- Bike specific paths, or lanes, may encourage cycling to the nearby services.
- Transit loading points, if applicable, provide/improve accessibility for physically challenged people.
- Playgrounds with equipment were not noted near the Maple Estates Mobile Home Park. Furthermore, the high school is on the opposite side of highway 843 from the development. It is possible that the playground, green space of the coulee, and high school may draw children across highway 843. Therefore, it may be prudent to consider this when designing intersections of highway 843 to prevent accidents.

AHS-SHE supports transportation options that are active, safe, and accessible for all.

Housing: Access to quality, suitable, affordable housing positively impacts physical and mental health. Diverse housing options help to meet the needs of all, including vulnerable populations.

- The plan provides for mixed housing types.

AHS-SHE supports development of diverse and suitable housing options.

Food Systems: Access to quality, suitable, affordable food positively impacts physical and mental health.

- Community gardens may also provide healthy food, natural spaces, and encourage community interaction.

AHS-SHE supports local food systems that offer healthy food options for everyone.

Natural Environments: Access to natural areas promotes physical activity, social interactions, and mental health. Green spaces can improve air quality and reduce climate impacts, supporting a healthy and resilient ecosystem.

- The plan provides many green space options in the area.
- Outdoor spaces encourage community and healthy activity.

AHS-SHE supports natural features and diverse green spaces in community plans.

Thank-you for your efforts to seek comments from AHS. AHS also wishes to thank you for your commitment to promoting a healthy community. Within AHS, we are also pleased to launch the Alberta Healthy Communities Hub (<https://albertahealthycommunities.healthiertogether.ca/>) as a virtual gathering place to access resources and tools.

Sincerely,

Wade Goin, CPHI(C)

Public Health Inspector

Alberta Health Services- Safe Healthy Environments- South Zone

Crowsnest Pass

403-562-5030

Henry de Kok
134, 3rd St. S.
Box 593
Picture Butte, Ab.
T0K-1V0

February 21, 2024

Town Council of Picture Butte
C/O CEO Keith Davis
Re: Butte Landing Area Structure Plan & Land Use Redesignation Proposals

Dear Town Council:

We wish to acknowledge Town Council for your efforts in furthering the development and prosperity of the Town of Picture Butte. As we have been involved with developments in the Town of Picture Butte over the past 40 years we want to ensure Council that we are not opposed to (further) development, progress, or growth in the Town.

However, we do have our concerns with this development. The entire piece of property is to be redesignated as "Residential multi unit R5" This is to permit the construction of multiunit rowhouses. If this application is approved there will be no restrictions on the entire property, besides a limitation to maximise the units to fourplexes. As per ASP this will remain one property, and as such this will remain rental property and will always remain a "tenant" occupied property.

Currently the tenant population in Picture Butte is 21% (145 homes), and this is fairly typical in small Alberta Towns. These tenants are residing in residences owned by landlords. These landlords have invested their time and money into these homes and as such have a value attached to the same.

If this development suddenly adds (or even over a period of time -which also has its concerns -vacant property, etc.) eighty additional rental properties, this adds 12% to rental properties bringing the total rental properties in Picture Butte to 33% which is substantially higher than other small communities in Alberta.

There are several concerns attached to this:

1. Tenants residing in rental properties typically do not reflect ownership and as such, are much more susceptible to be messy and/or have rundown premises. This will have an overall negative affect to the standard of living in the Town.
2. This development will substantially increase the inventory of rental properties in the Town and as a result will lower the current rent pricing, affecting Landlords who have invested in these homes.
3. This will in turn lower the value of properties in the Town which will especially affect beginner home owners. (especially those who are looking to renew mortgages with the higher interest rates.)

For the above mentioned reasons I oppose the ASP as submitted.

I would agree to a revised ASP to incorporate individual (separate titles) multi purpose row houses combined with single family dwellings to maintain a vital interest for Town citizens to rent and/or purchase properties in our Town.

We suggest that Town Council pursue other options together with the developer to create a diversity of homes and rental properties.

Henry de Kok,



THE NETHERLANDS REFORMED CONGREGATION OF PICTURE BUTTE.

Box 1163
601 - 3a St. S.
Picture Butte, Ab.
T0K-1V0

February 21, 2024

Town Council of Picture Butte
C/O CEO Keith Davis
Re: Butte Landing Area Structure Plan & Land Use Redesignation Proposals

Dear Town Council:

On behalf of the Netherlands Reformed Congregation Church council we wish to acknowledge you for your efforts in furthering the development and prosperity of the Town of Picture Butte. We want to ensure the council that the church community is not opposed to (further) development, progress, or growth in the Town.

However, we do have two major concerns regarding this Area Structure Plan (ASP) and the rezoning of the same to "Residential Multi-unit – R5" land use. It is understood this is for the purpose of constructing (up to) twenty fourplex rental units (see page 26 or 53 of Butte Landing Area Structure Plan).

1. In the past, the Church Council has contacted the Town as well as the Alberta Transportation to look for a solution to the traffic congestion of traffic entering Highway 519 from Highway 843, especially on Sundays and when there are church activities taking place. An extra turning lane was considered but the cost was prohibitive.

We believe the Traffic Impact Study included in this ASP is seriously flawed. (pages 151-153). During manure hauling season there are as many as six tractor trailer manure trucks turning right onto Highway 519 in a single hour, and this goes on for many weeks. Added to that there are the many cattle haulers that make left and right turns both onto and off hwy 843. Because of the narrowness of hwy 843 and the guardrail these trucks often need to wait till there is no traffic as they need to make wide turns using up both lanes of the highways.

As well, the study does not reflect the church traffic to and from the church. There are approx. 200 vehicles that go to and come from the church on any given service, e.g. Sundays, weddings, funerals, and various other church activities that take place weekly.

If we now add eighty rental homes, and according to R5 land use this allows for two vehicles per unit, this could potentially add another one hundred and sixty vehicles, plus visiting vehicles into the already mentioned congestion.

2. The church council and members are concerned with the intent of the developer erecting twenty fourplexes adjoining the church property and the Memorial Cemetery of Picture Butte. Although we do not want to discriminate, reality has proven that renters typically show less ownership to, and involvement in, a community. The proposed development also shows three fourplexes a very short distance from the cemetery, a place where quietness and an increased level of care for the final resting place of loved ones is maintained. Will renters have the same commitment? Will garbage need to be cleaned up? Will loud music or noise invade the solitude of visitors to the cemetery? Or interrupt graveside services? And these multiplex units will not remain new – what will the situation be like twenty or forty years from now when the units become older and more run down?

THE NETHERLANDS REFORMED CONGREGATION OF PICTURE BUTTE.

Box 1163
601 - 3a St. S.
Picture Butte, Ab.
TOK-1V0

For the above-mentioned reasons, the church council representing the church community opposes this development.

On behalf of the Netherlands Reformed Congregation,

Henry de Kok

Henry de Kok, Clerk

butte landing

AREA STRUCTURE PLAN



TITLE Butte Landing Area Structure Plan

BYLAW NO. XXXX

VERSION/DATE DRAFT - JANUARY 2024

AUTHOR Stantec Consulting Ltd. on behalf of
Oak Pointe Inc.

With contributions from:

Town of Picture Butte
Oldman River Regional Services Commission
(ORRSC) Planning Services
Global Raymac Surveys Inc.

ADDITIONAL COPIES Picture Butte Town Office
120 - 4th Street North, Box 670
Picture Butte, Alberta T0K 1V0

Town of Picture Butte 2023



Contents

EXECUTIVE SUMMARYIV

1 INTRODUCTION 1

- 1.1 Plan Area..... 1
- 1.2 Purpose of the Plan 1
- 1.3 Plan Interpretation.....3
- 1.4 Regulatory & Planning Framework..... 4

2 PLAN AREA & CONTEXT.....5

- 2.1 Site Context.....5
- 2.2 Municipal Development Plan.....6
- 2.3 Plan Area Features.....7

3 PLAN CONSIDERATIONS10

4 LAND USE CONCEPT.....11

- 4.1 Vision11
- 4.2 Development Framework.....11
- 4.3 Land Use Areas.....11
- 4.4 Plan Statistics.....12
- 4.5 Intermunicipal Coordination.....14
- 4.6 Reserves.....14

5 TRANSPORTATION..... 15

- 5.1 Transportation Network15

6 SERVICING..... 17

- 6.1 General.....17
- 6.2 Shallow Utilities17
- 6.3 Water17
- 6.4 Sanitary17
- 6.5 Stormwater20

7 IMPLEMENTATION 23

- 7.1 Phasing.....23

APPENDICES 25

LIST OF MAPS

- Map 1 Plan Area Location..... 2
- Map 2 Site Context 5
- Map 3 MDP - Guide Map (Map 4) 6
- Map 4 Natural Features 8
- Map 5 Existing Land Use..... 9
- Map 6 Land Use Concept 13
- Map 7 Transportation Network..... 16
- Map 8 Water Servicing..... 18
- Map 9 Sanitary Servicing..... 19
- Map 10 South Residential Drainage Strategy... 20
- Map 11 Stormwater Servicing - Option 1 21
- Map 12 Stormwater Servicing - Option 2 22
- Map 13 Phasing & Implementation Plan..... 24

EXECUTIVE SUMMARY

The Butte Landing Area Structure Plan (ASP) provides a vision for future development of a ±4.13 ha (±10.22 ac) residential community located in southeast Picture Butte. This ASP offers a unique opportunity in a safe and engaging environment bound by Highway 843 to the west and the Piyami Coulee to the north and east.

The ASP and Land Use Redesignation for Butte Landing identifies the development parcels, defines the road network, and provides provisions for Municipal Reserve (public park space) within the public realm. The land uses and intensity of residential development described, enables a vibrant community that thrives and can evolve over time with the needs of its residents.

As the town continues to grow, this ASP works to build upon existing housing and amenities in the area while continuing to attract investments that enhance the quality of life for all residents. The ASP also facilitates the future delivery of needed housing that will support current and planned employment centres within the Town.

Informed by supporting engineering, transportation, and geotechnical studies, this ASP has analyzed and evaluated key attributes and constraints in the Plan Area. Through this analysis, the ASP outlines a community designed to provide all residents with orderly and efficient development while providing enhanced recreational opportunities and access to surrounding natural features.

Butte Landing looks to establish its own unique, and complete “sense of place” that will integrate seamlessly with the existing community.

The ASP for Butte Landing has been prepared to:

- Address the need for additional housing in the Town of Picture Butte;
- Meet the vision of the Municipal Development Plan (MDP);
- Enhance the natural features and location assets of the land; and
- Create a vibrant community that meets the needs of its residents in a unique and exciting manner.

The Butte Landing ASP also considers and implements strategic objectives and policies of higher-level plans including the South Saskatchewan Regional Plan (SSRP) and the Lethbridge County/Picture Butte Intermunicipal Development Plan (IDP).

1 INTRODUCTION

1.1 PLAN AREA

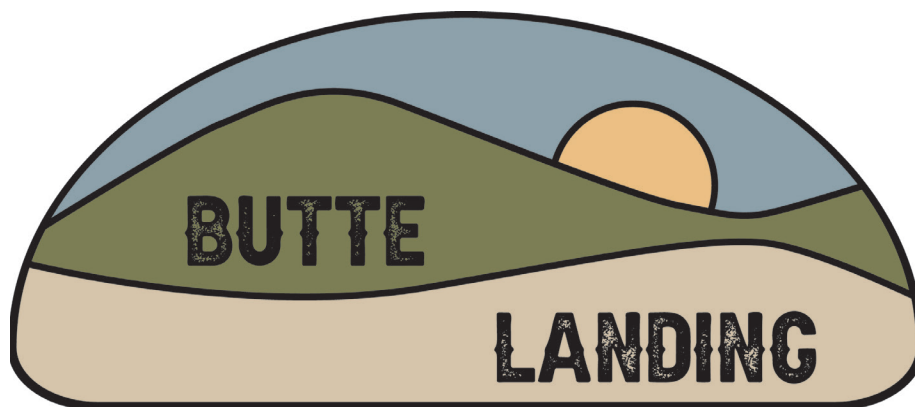
The Butte Landing Area Structure Plan (ASP) consists of ±4.13ha (±10.22ac) of land entirely located within one quarter section in southern Picture Butte. The majority of the Plan Area, ±3.72ha (±9.19ac) is entirely located within and along the western boundary of NW Section 34 (legally described as Plan 2311035, Block 3, Lot 2). The second lot, ±0.42 ha (±1.04 ac) is located on the west side of the Plan Area in the northwest corner of NW Section 34 (legally described as Plan 2311035, Block 3, Lot 1).

The lands are bounded by 3A Street S (Highway 843) to the west, residential lands to the north and east, and a cemetery forming part of the Netherlands Reformed Congregation Church to the south, as illustrated in **Map 1** (herein referred to as the 'Plan Area').

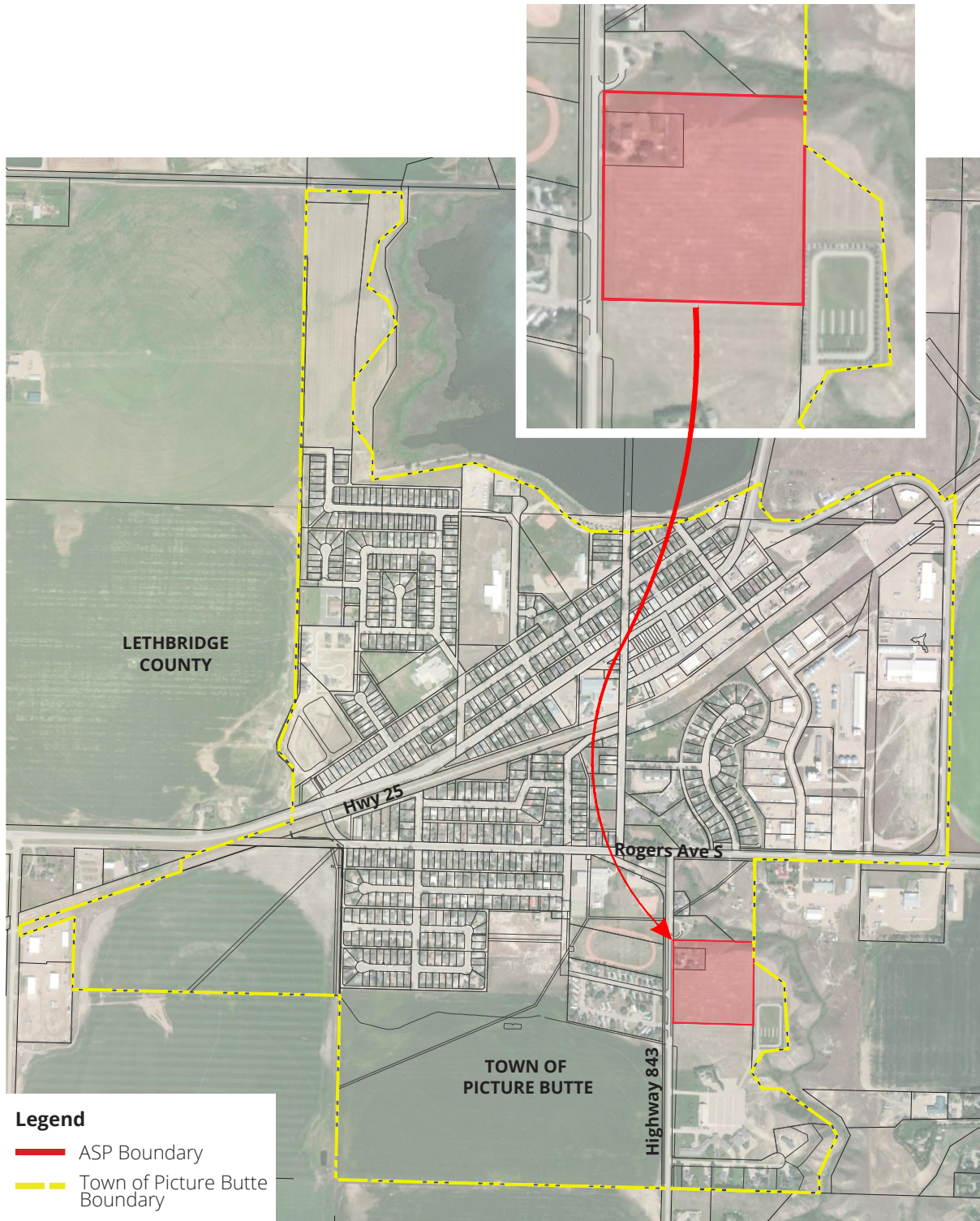
1.2 PURPOSE OF THE PLAN

The decision to proceed with this ASP reflects the need to update the policies and vision for the land east of Highway 843, previously approved for subdivision and subsequent development in 1980. Since this subdivision approval, servicing deficiencies were found in the approved layout, and thus the direction of the parcel has shifted. Due to this, the parcels were then consolidated to return the lands to their original state, with the exception of the additional parcel created for the existing residence in the northwest corner.

Through this ASP a more comprehensive and consolidated approach has been taken to consider and facilitate a future residential development based on current market factors. Due to growing demand for residential accommodation, the increasing costs within the real estate market, and employers requiring more skilled labour in the region, this ASP has been established to provide the framework required to consider planning, transportation, key infrastructure and servicing required, such as sanitary, storm, and water, to support residential growth in this area. This Plan works towards helping ensure a sufficient supply of planned residential lands are available for the projected increase to the population, while supporting a healthy, competitive residential land market that attracts investment and employment opportunities to Picture Butte. To accomplish these goals, this Plan outlines the general land use and servicing framework, along with a set of policies to guide future development through an implementation plan until such time as the ASP lands are fully built out.



Map 1 Plan Area Location



1.3 PLAN INTERPRETATION

1.3.1 Policy Interpretation

The ASP uses language that provides either specific or general policy direction. Where specific direction is used, such as the built form policies and the general policies, the ASP must be exactly followed. Where general direction is given, such as the Land Use Concept future development direction, flexibility should be used in the interpretation of the ASP.

Where the term **'shall'** or **'must'** is used in a statement, the direction the statement provides is mandatory; exceptions would require an amendment to the ASP.

Where the term **'should'** or **'may'** is used in a statement, the direction the statement provides is intended to be followed; however, the direction may be deviated from in order to address specific circumstances while still achieving the general intent of the statement.

Policies that use the words **"shall"** or **"must"** apply to all situations, without exception, usually in relation to a statement of action, legislative direction, or situation(s) where a desired result is required.

The word **"should"** is used to clarify the directional nature of an associated policy statement. Policies that use "should" are to be applied in all situations, unless it can be demonstrated to the satisfaction of the Development Authority that the policy is not reasonable, practical, or feasible in a given situation. Proposed alternatives will comply with the applicable policies and guidelines to the satisfaction of The Town of Picture Butte (the Town) with regard to design and performance standards.

Policies that use the word **"may"** apply to situations that are permitted to occur as it relates to the overall objectives of ASP.

1.3.2 Plan Limitations

This ASP is a long-term planning document. As such, it promotes a vision for the Plan Area and includes policies and guidelines that work towards achieving that vision over time. The ASP may be amended from time to time, either in relation to a Town initiative or future land use applications.

Policies and guidelines in the ASP must not be interpreted as approvals for specific uses for individual sites. Site conditions or constraints, including environmental constraints, adjacency and compatibility of residential uses, and all other constraints must be assessed on a case-by-case basis through future planning applications and required technical studies, as determined by the Town during the Land Use, Subdivision, or Development Permit application stage.

1.3.3 Map Interpretation

Plan maps and any subsequent amendments shall be interpreted as identified below:

Unless otherwise specified in the ASP, boundaries or locations of any symbols or areas depicted on maps within the ASP and its appendices are approximate, not absolute, and must be interpreted as such. The locations of symbols are not intended to define exact locations, except where they coincide with clearly recognizable physical features or fixed boundaries, such as property lines or road or utility rights-of-way. The precise location of these boundaries, for the purpose of evaluating development proposals, will be determined by the Development Authority at the time of Land Use, Subdivision, and/or Development Permit application.

Measurements of distances or areas must not be taken from maps in the ASP or its appendices.

Land use areas, roadway alignments and classifications, and utility alignments may be subject to further study and may be further delineated at the Land Use or Subdivision stage in alignment with applicable policies in this Plan. Any major changes to the maps in this Plan and its appendices may require an amendment to the ASP at the Development Authority's discretion.

1.3.4 Photos & Imagery Interpretation

Photographs and precedent imagery contained within this ASP are provided for illustrative and reference purposes only and are not indicative of the final outcome, nor meant to limit the built form or specify the urban design in any way.

1.4 REGULATORY & PLANNING FRAMEWORK

The ASP has been prepared in accordance with applicable legislative requirements outlined in the Municipal Government Act (MGA) and overarching Town plans, such as the MDP, as well as other applicable Town policies and guiding documents.

In accordance with the MGA, all statutory plans passed by a municipality must be consistent with each other. Should a conflict or inconsistency arise between this ASP and the MDP, the MDP prevails to the extent of the conflict or inconsistency, unless otherwise noted.

The diagram below illustrates the planning hierarchy in Alberta (generally), and where an ASP fits in with the process, with each heading highlighted in bold throughout the text below:



What Guides the ASP?

The ASP has been prepared to be consistent with, and to support the goals, of higher-level legislation and plans including:

- The MGA and any associated regulations,
- The South Saskatchewan Regional Plan (**SSRP**), a southern Alberta regional plan based around the South Saskatchewan watershed,
- The Intermunicipal Development Plan (**IDP**), a local co-operative plan with Lethbridge County and Town of Picture Butte, and
- The Municipal Development Plan (**MDP**).

Other documents considered as part of developing this Plan include the Picture Butte Land Use Bylaw, and Town's Infrastructure Master Plan.

What Comes After an ASP?

Following the adoption of an ASP, developers may prepare a Land Use Bylaw (**LUB**) amendment for application to the municipality to rezone specific lands, in alignment with the vision proposed in the ASP.

Once the land uses are confirmed/adopted by Council, the developer may proceed, if required, to the Subdivision stage. Finally, DP and Building Permit (**BP**) submissions are prepared and applied for, these applications provide the municipality the highest level of detail and serves as the final stage of municipal approvals required prior to construction and occupancy. Development proposals may be supported by additional servicing analysis or technical studies (e.g., Geotechnical, Biophysical Impact Assessment [BIA], Environmental Site Assessment [ESA], etc.), as required by the municipality.

What Are the Requirements of an ASP?

As per the MGA, an ASP must describe:

- The sequence of development for the Plan Area,
- Land uses proposed for the Plan Area (generally, or with respect to specific parts of the Plan Area),
- Density of population proposed for the area either generally or with respect to specific parts of the area (where applicable),
- General location of major transportation routes and public utilities, and
- Other matters Council may consider necessary.

2 PLAN AREA & CONTEXT

2.1 SITE CONTEXT

The Plan Area is located in the southeast corner of the Town of Picture Butte, comprising of ±4.13ha (±10.22ac). The ASP is located within one quarter section and is generally defined by Highway 843 to the west and the Piyami Coulee and Lethbridge County boundary to the east, with one (1) existing single detached dwelling located within the Plan Area (identified on **Map 2**). Surrounding developments including a number of adjacent residential developments, the Maple Estate Mobile Home Park, the Netherlands Reformed Congregation and the Bethesda Home for Seniors, do not form part of this ASP.

Agricultural pursuits are observed to be the predominant land use utilized within the southern half of the Town, more specifically south of Rogers Ave S, although the area has been identified within the MDP for urbanization and development through the adoption of ASPs. An underground coal mine owned by Northern Coal Co. Ltd (Mine Number 1414) is located north of the Plan Area, however, this mine has been abandoned and is no longer active.

Map 2 Site Context



2.2 MUNICIPAL DEVELOPMENT PLAN

The MDP is the guiding policy document for the Plan Area, which guides the planning, transportation and associated considerations of the area (illustrated on **Map 3**). Relevant policies include:

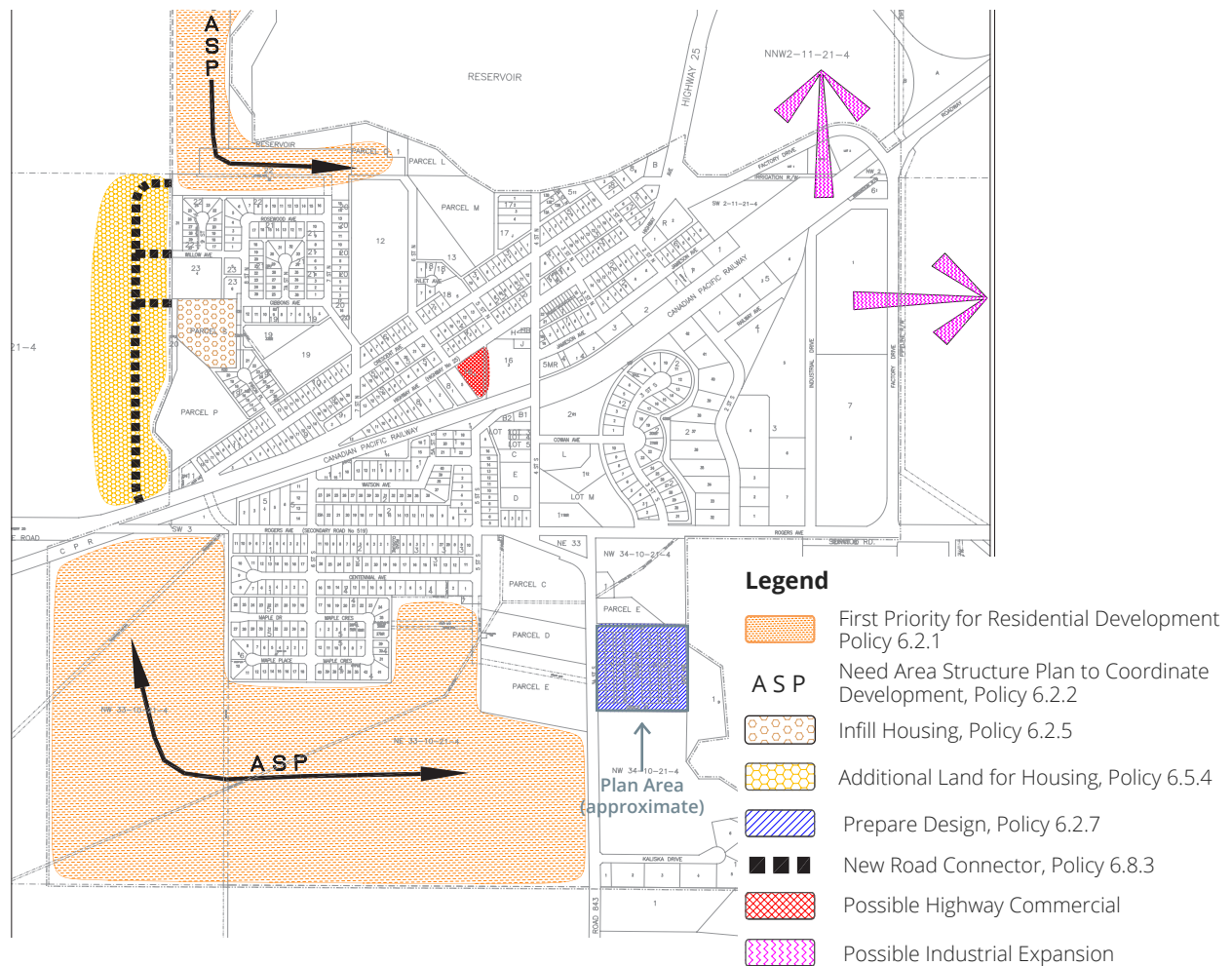
7.1.1 *The priority for housing in the future should be:*

- continue toward the south,
- infill the northwest,
- the area south and west, as shown on Guide Map 4.

7.1.3 *Developers should be encouraged to provide a diversity of housing types. A variety of housing may be promoted in areas of town such as:*

- in new area structure plans being adopted by council,
- on sites where existing houses are to be redeveloped,
- on larger sites that may become available such as the hospital site or the former water reservoir site,
- area of land east of the manufactured home park – the town owns some of this land.

Map 3 MDP - Guide Map (Map 4)



7.1.4 Council should consider being more active in the provision of multi-dwelling housing developments by either entering into some private-public partnership or actually develop projects. Particular interest for council may be to provide low-maintenance, higher density housing aimed at older segments of the population.

7.1.7 The approval authorities should use its discretion to relax development standards when considering applications that would result in a considerable improvement to an existing lot that requires redevelopment.

Currently, the Town primarily consists of single family dwellings which do not provide sufficient variation in purchase or rental pricing, maintenance requirements and may not suitable or allow for flexibility to an aging population. As noted within the MDP, a concern for the Town is that “in the future, the lack of multi-unit accommodation will affect the ability of the town to accommodate a diverse labour force and a variety of age groups” (Section 4.2). Development enabled by this ASP will contribute to the desired diversity of housing types, consisting of town home, multiplex and multi-unit dwellings, which contributes to the goals of the MDP being met.

2.3 PLAN AREA FEATURES

2.3.1 Natural Features

The Plan Area is characterized by flat prairie lands, with moderate water holding capacity and texture soils. Utilized for hay production with a partial development on the northwest corner, the site generally drains towards the northeast corner which abuts the side slopes of the Oldman River tributary Coulee (Piyami Coulee). A Slope Stability Assessment was completed to establish developable area within the site and resulted in the determination of a minimum development setback distance reflective of 16m from the top of bank (illustrated on **Map 4**).

The topography is generally flat (897.5m to 899.7m) with minor variation throughout the site. The subsurface of the Plan Area is generally comprised of a surficial layer of topsoil, underlain by native clay and clay till deposits.

2.3.2 Historic Resources

Under the Historic Resources Act (HRA), historic resources include archaeological and paleontological sites, Indigenous traditional use sites, historic structures, and geological or natural resources. The Plan Area is identified within the Listing of Historic Resources as lands with the potential to include undiscovered archaeological and paleontological historic resources (categorized as 5a, p).

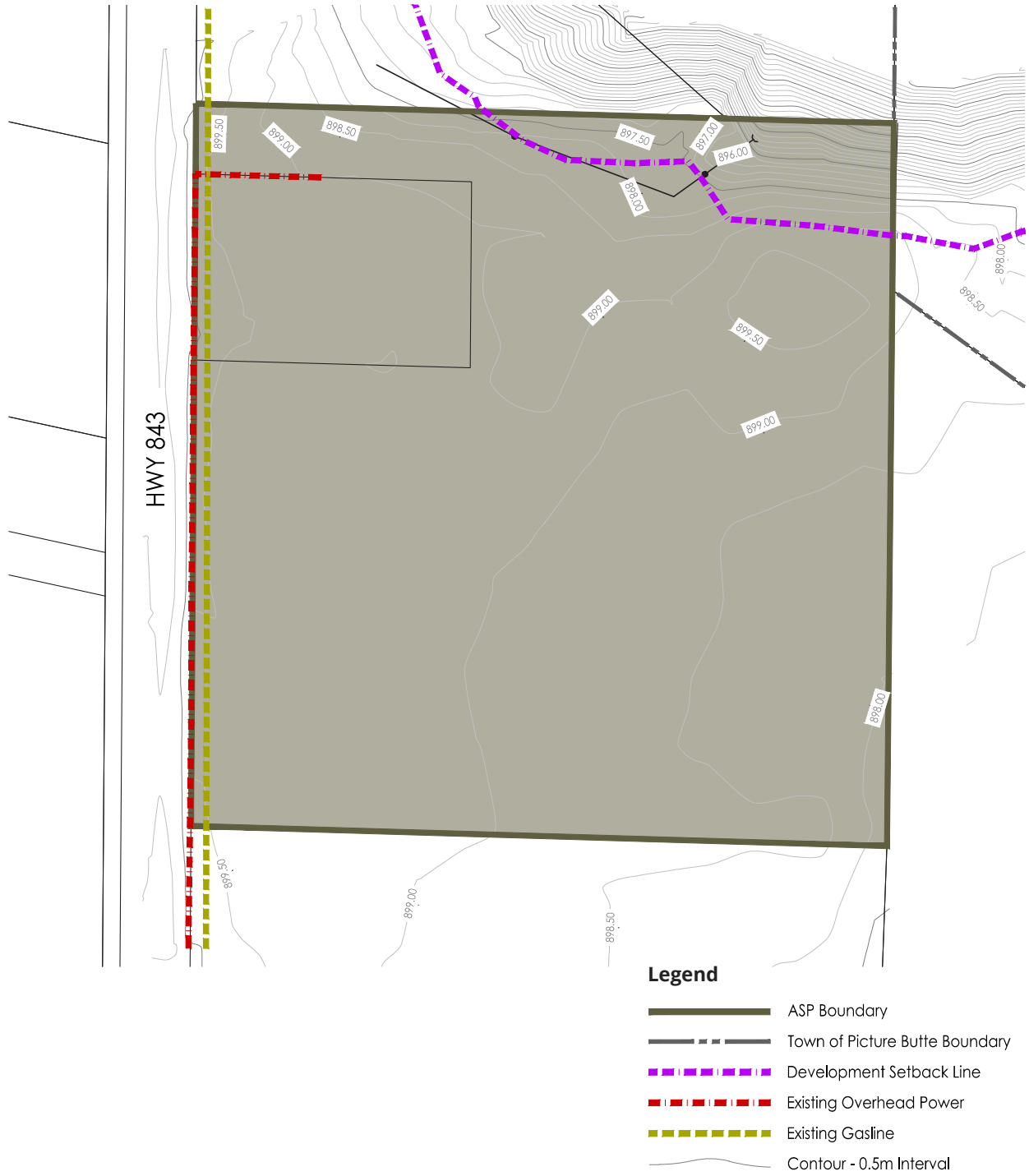
An approval under the HRA has been provided by Alberta Culture, Multiculturalism, and Status of Women (CMSW) for the development proposed in this ASP. Further review through a Historic Resources Impact Analysis (HRIA) is not required.

2.3.3 Existing Land Use and Development

The Plan Area is currently zoned under the LUB as Urban Reserve (UR) land use district (illustrated on **Map 5**). This district is utilized as a temporary land use to maintain areas identified by the Town for urban developments, prior to planning documents and servicing being in place. The Plan Area is characterized by vacant agricultural land, with the exception of the existing single detached dwelling. All future zoning applications and subdivision (if required) within the Plan Area shall be developed in accordance with the direction and intent of the Municipal Development Plan and the Land Use Bylaw.

Uses adjacent to the Plan Area include a mix of agricultural, residential, and public service uses, including the Maple Estate Mobile Home Park, Picture Butte Memorial Cemetery, Netherlands Reformed Congregation, Bethesda Home for Seniors and the Picture Butte High School.



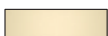




Map 4 Natural Features



Map 5 Existing Land Use



Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Residential - R1
-  Large Lot Residential - R3
-  MAanufactured Home - R2
-  Public - P
-  Urban Reserve - UR

3 PLAN CONSIDERATIONS

This section provides a summary of notable Plan Area attributes and constraints that may require special attention for future development within the Plan Area. This is not meant to be an exhaustive list. Those developing in the Plan Area must practice due diligence in the development process as it relates to all future planning considerations, inclusive of those identified within this section. The information outlined within this section may be subject to change and should be verified at the time of land use, Subdivision, or DP stage as new information arises and further development occurs within the Plan Area. Reports completed for the ASP include:

- *Geotechnical Evaluation and Slope Stability Analysis (2023)*
- *Historical Resources Act Clearance (2023)*
- *Butte Landing ASP Transportation Impact Assessment (2023)*
- *Phase 1 Environmental Site Assessment (2023)*

Copies of completed reports and studies may be obtained by request to the Town, referencing the report title.

4 LAND USE CONCEPT

4.1 VISION

Butte Landing is designed to establish a unique neighbourhood within the Town of Picture Butte that can accommodate much needed permanent and temporary housing options through a fully serviced community. Designed to connect with the vibrant natural environment, this ASP brings community members together while integrating high-quality private spaces with public recreational outdoor spaces. The unique landscape and topography also allow for attractive building integration and open spaces that respond to natural slopes and creates connectivity opportunities to the broader community. The Plan Area is well situated and identified for residential growth and integrates with the surrounding developments seamlessly to create a cohesive sense of community in the area.

4.2 DEVELOPMENT FRAMEWORK

There are a number of elements that will shape the future development of the Plan Area, each playing a role in shaping when and how the ASP is developed. Full build out of the Plan Area will likely take a number of years and is highly dependent on market demand, available financing and ownership type. The ASP provides a general configuration and the approximate boundaries of the land use areas. However, if a proposed development is sought in the Plan Area that is not consistent with the ASP, it may be considered so long as it remains consistent with the overall vision of the ASP.

Furthermore, the ASP focuses on the following elements as key to achieving a balanced and integrated neighbourhood:

- Balance the overall mix of residential uses in the Town to create a multi-generational community;
- Integrate the open space to compliment the residential housing units and the surrounding area; and
- Provide for a density and mix of housing types that organizes the development parcels and integrates open space to achieve safe and logical connections within the site and, where possible, to adjacent neighbourhoods.

4.3 LAND USE AREAS

The Land Use Concept Plan (illustrated on **Map 6**), has been developed through careful analysis of the opportunities and constraints applicable to the Plan Area, in addition to the needs of the Town, the public, and adjacent public service uses through proactive engagement with key stakeholders and Town departments.

The ASP provides general land use areas and a primary roadway network alignment and is intended to positively integrate with existing developments surrounding the Plan Area. Density considered within the Plan Area is utilized to support variations in housing options for a sustainable and growing municipality. This diversity is proposed to accommodate the needs of a variety of residents in all stages of their lives (singles, young families, and seniors).

When contemplated through the Land Use Bylaw, one secondary suite may be considered within a dwelling unit to the discretion of the Development Authority in accordance with the Land Use Bylaw. Secondary suites, are described as a self-contained residence with two or more rooms and includes a kitchen, living, sleeping and sanitary facility, meeting all requirements as per the Building Code.

The land use areas of the ASP are intended to be flexible and evolve with potential Land Use Bylaw changes over time. Any minor refinements to the exact land use boundary area may be made without an amendment to this ASP so long as the overall vision of the ASP are maintained. Current and future land use areas with respect to location and size will be confirmed at land use, Subdivision, or Development Permit stage (whichever applies, under the discretion of the Development Authority), to provide flexibility and adaptability to market conditions at the appropriate time.

Residential

Located centrally within the Plan Area, illustrated on **Map 6**, the residential land use within this ASP provides the opportunity to accommodate multi-unit residential densities that work to achieve the targeted density as identified by the Town. This housing typology includes but is not limited to town home, multiplex and multi-unit dwellings, however, opportunities may exist for other housing types and densities overtime. By utilizing reduced individual lot footprints the Plan Area is able to reduce infrastructure requirements and create servicing efficiencies through design of the site.

Future Residential

At time of report preparation, the future residential area is characterized by an existing single detached dwelling. To ensure that this area is maintained until the time in which it is needed for multi-unit development, it has been separated from the primary residential lands to ensure sequencing of development is followed within the Plan Area. Development within the Future Residential area may continue to operate as a single detached dwelling until such time as insufficient lands are available within the ASP to accommodate further development.

Future development of these lands is intended to provide a flexible expansion for future development through concentrated higher density residential development. This housing typology includes but is not limited to multiplex, multi-unit dwellings and apartment buildings.

4.4 PLAN STATISTICS

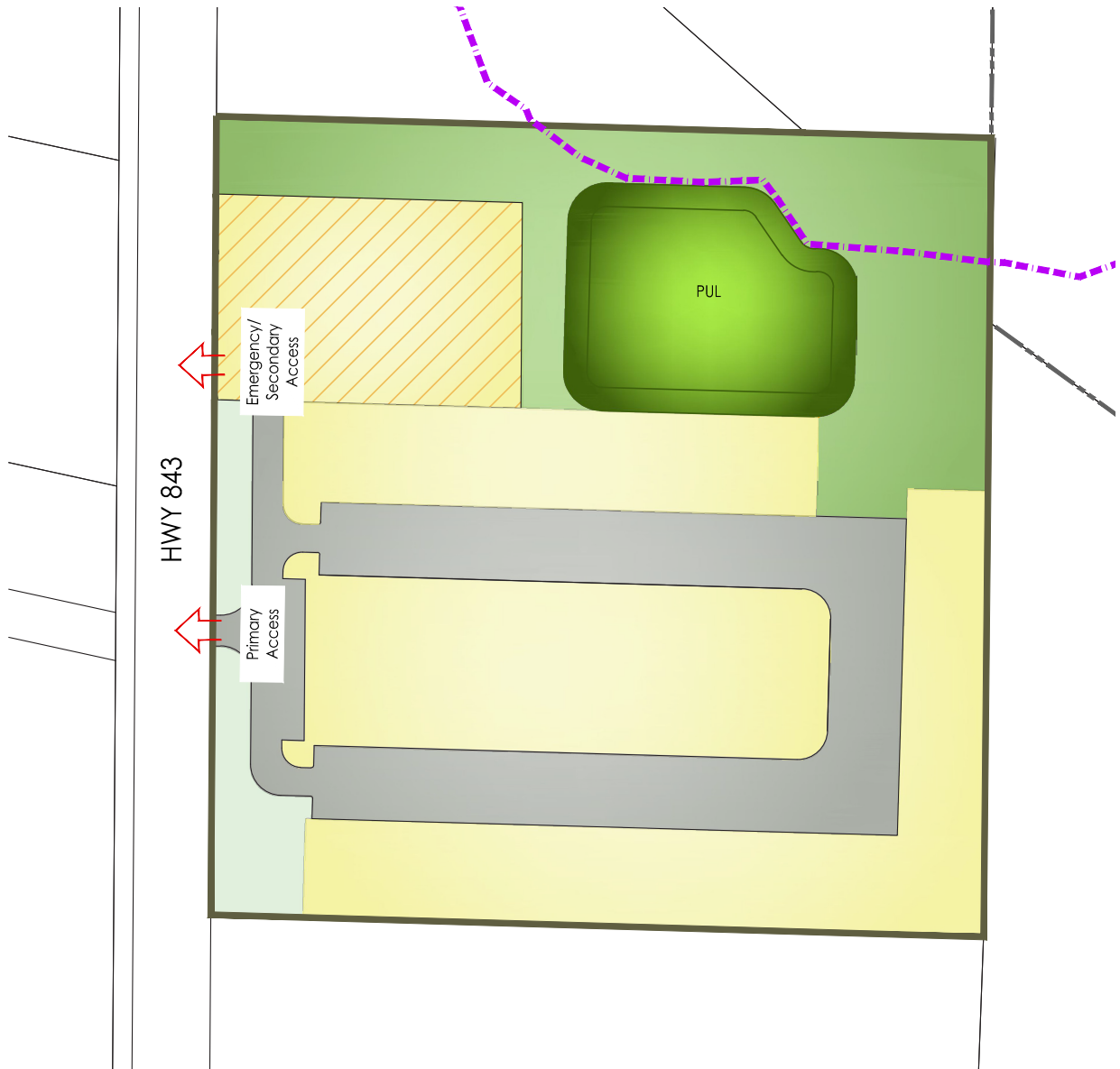
This plan is looking to establish a successful community through sustainable growth while continuing to maintain a strong sense of Town values and citizen involvement through appropriate amounts of growth. All calculations including reference to population density have been calculated to consider the highest potential population within the Plan Area.

PLAN AREAS

Land Use Type	Gross Area		%	Estimated Dwelling Units	Estimated Population*
Residential (<i>Multi unit</i>)	±1.61 ha	±3.98 ac	±39%	80	216
Future Residential (<i>Multi unit</i>)	±0.42 ha	±1.04 ac	±10%	48	130
Municipal Reserve	±0.91 ha	±2.25 ac	±22%		
Roads	±0.79 ha	±1.95 ac	±19%		
Stormwater Management Facility	±0.40 ha	±1.00 ac	±10%		
Total	±4.13 ha	±10.22 ac	100%	128	346

* Assumed an average of 2.7 people per household, as per Census data.

Map 6 Land Use Concept



Legend

- | | | | |
|--|--------------------------------------|--|--------------------------------------|
| | ASP Boundary (3.71Ha / 9.17ac) | | Residential (1.61Ha / 3.98ac) |
| | Town of Picture Butte Boundary | | Municipal Reserve (0.74Ha / 1.83ac) |
| | Roadway Access Location | | Open Space (0.17Ha / 0.42ac) |
| | Public Utility Lot (0.40Ha / 1.00ac) | | Roads (0.79Ha / 1.95ac) |
| | Development Setback Line | | Future Residential (0.42Ha / 1.04ac) |

4.5 INTERMUNICIPAL COORDINATION

The ASP lands are entirely contained within the Intermunicipal Development Plan (IDP) between the Town of Picture Butte and Lethbridge County. This plan identifies areas of mutual interest within the Town and establishes policies and processes of shared information and referrals between the municipalities. The Plan Area is referred to within this document, more specifically, within Planning Area 3 and Special Planning Area 3A. Relevant policies include:

6.6.3 Planning Area 3 is an area foreseen to be further planned for, subdivided and developed in consultation between the County and Town, and in consideration of the planning and development standards as outlined in this Plan.

6.6.4 Sub-planning Area 3A is identified as potentially suitable for business, highway commercial type land use just to the south of Highway 519. The south portion of Area 3A may also be considered for mixed land use or grouped country residential use if appropriately planned and with consideration of transitioning to existing grouped country residential uses to the south. The area identified in sub-planning Area 3A as a "Special Planning Area" will require an Area Structure Plan to be prepared prior to any subdivision or at the redesignation stage for development proposals.

6.6.5 For land within the Town on the west side of the municipal boundary and coulee draw, also within sub-planning Area 3A, highway commercial and residential uses may be considered with additional planning undertaken.

6.6.8 Storm water management and drainage considerations, especially along the highway, must be addressed as part of the area structure plan preparation and subsequent development of lands.

The IDP identifies the Plan Area for further development of residential uses through the creation of an ASP. This ASP has considered and appropriately placed the density to align with future developments and considered the transition to future commercial uses in the north and existing residential uses to the west in alignment with the goals of the IDP. Additionally, the density proposed will contribute to the success of a highway commercial district by having a higher number of residents in the area. Through this development we are working to support the long-term interest of the County and Town through an efficient development pattern that achieves a balance of land uses compatible with the area.

4.6 RESERVES

Municipal Reserves (MR) and Environmental Reserves (ER) are lands dedicated to the Town as public land during the subdivision process. MR is dedicated to enhance the community by providing land for parks, schools, and recreational amenities, as required. ER supports the protection of the natural environment by preventing development in hazardous areas such as ravines, floodways, or coulees.

The determination of exact reserve allocation and analysis of MR owing within the Plan Area should be addressed at time of Subdivision in accordance with the provisions of the MGA and refer to any/all applicable Town policies or Deferred Reserve caveats registered on title at time of application. MR has been collected in full on Lot 1 (±1.04ac). The remaining MR within Lot 2 (±9.19ac) is contemplated under a Deferred Reserve Caveat registered on title. This caveat describes MR owing within the remaining portion of the Plan Area within Lot 2. MR is expected to be provided through the dedication of land or by the payment of cash-in-lieu at subdivision stage.

Any MR dedication required within the Plan Area is anticipated to be accomplished within the open space located centrally within the residential land use area or to the north. Additional areas may be considered for dedication of MR without requiring an amendment to this plan reviewed at time of DP.

5 TRANSPORTATION

5.1 TRANSPORTATION NETWORK

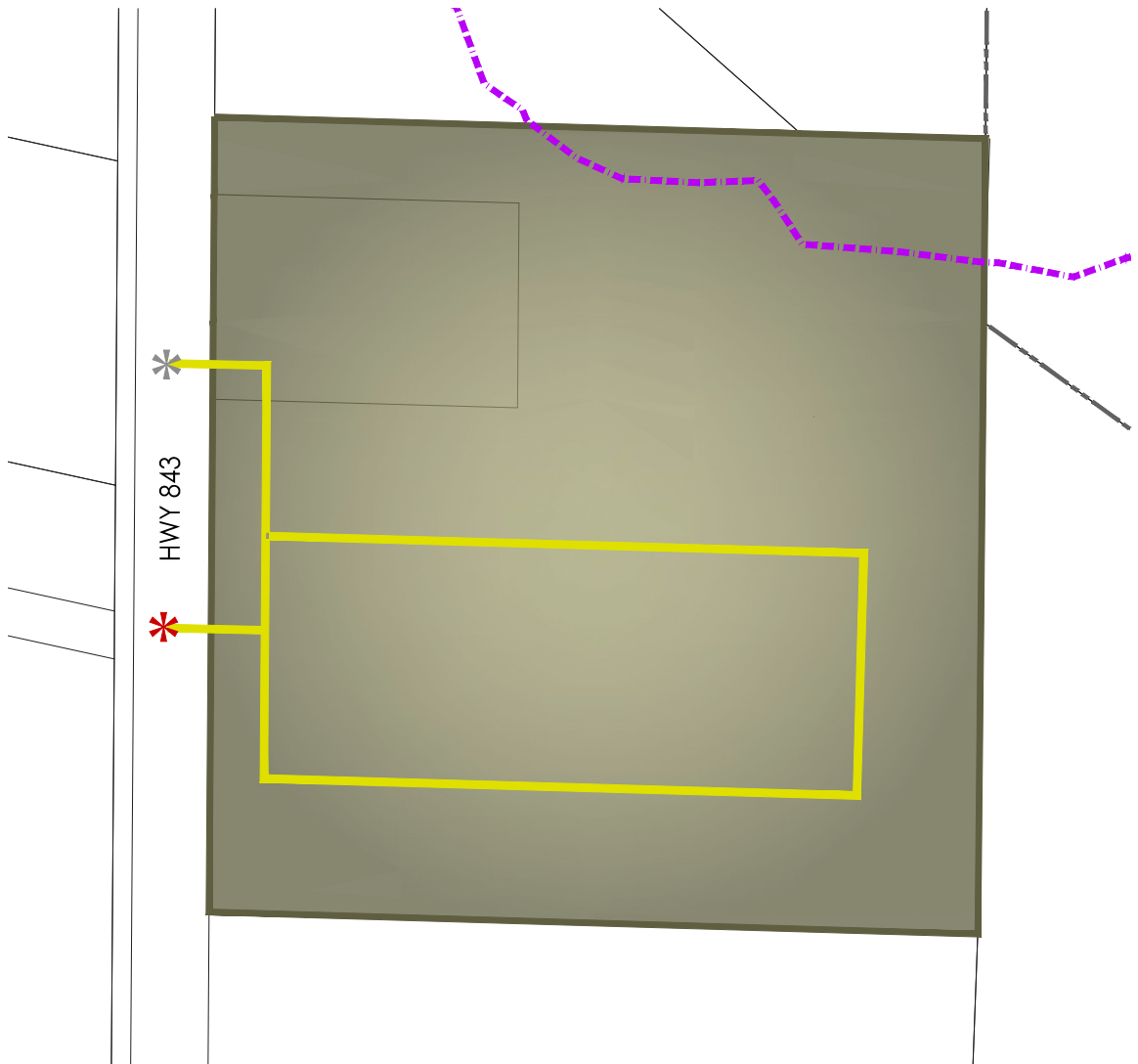
To support the residential development proposed by this ASP, a Transportation Impact Assessment (TIA) was prepared to evaluate the adequacy and impact to the study area intersections and road links in order to accommodate the opening day and long-term (20 year) traffic horizons. The TIA also considered and determined if any roadway improvements are required to incorporate the proposed development.

The transportation network for the Plan Area (illustrated on **Map 7**) is designed to accommodate anticipated traffic volumes at full build out in an efficient, safe, and effective manner. The internal transportation system has been configured as a circular roadway that connects to a primary access point on Highway 843, with a secondary access located to the north. Access and internal transportation system will allow for two traffic and allow for two points of emergency access to the development.







The connection to Highway 843 will be a Type 1 intersection given the low traffic volumes, posted speeds, and the urbanization occurring in the area. To the discretion of Alberta Transportation, this intersection will align with the existing intersection utilized by the Maple Estates Mobile Home Park to the west, converting the existing 3-leg intersection to a 4-leg intersection at the existing location, limiting the number of access points to the highway. This intersection will have a stop control on the westbound movements, and free flow on Highway 843. The development is anticipated to produce a relatively small amount of traffic, so no further improvements to Highway 843 are anticipated due to additional development traffic.

The developer shall be responsible to provide a publicly dedicated road network and all servicing infrastructure to municipal standards. If future development proposals involve a type of bareland condominium subdivision plan, the developer may propose alternative road and infrastructure standards for consideration by the Town. Additionally, if required and at the developers expense, a Development Agreement shall be entered into with the municipality to address the terms and requirements of providing the necessary municipal infrastructure for the development and any roadway or intersection improvements.

Map 7 Transportation Network



Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Local Road
-  Primary Access
-  Secondary/Emergency Access
-  Development Setback Line

6 SERVICING

6.1 GENERAL

A servicing strategy for the ASP has been developed based upon municipal servicing standards and with reference to the Town of Picture Butte's Infrastructure Master Plan (IMP) 2017 (ISL Engineering and Land Services). Water and sanitary servicing is readily available for the Plan Area. Stormwater management for this parcel is part of a larger municipal strategy, as outlined in the IMP. The following sections outline the servicing strategy for the Plan Area, including interim and permanent scenarios for stormwater management, and provides a summary of the estimated flows and volumes that will be received by downstream conveyance and treatment infrastructure. All calculations including reference to population density have been calculated to consider the highest potential population within the Plan Area.

6.2 SHALLOW UTILITIES

Electrical, Gas and Telecommunication services are available from Highway 843. Servicing strategies for these utilities will be completed at the time of subdivision during detailed engineering design, in accordance with all municipal standards.

Developers, at their expense, shall be responsible for the installation of all required shallow utilities and streetlights within the Plan Area through a single utility Right of Way.

6.3 WATER

The Town's existing water distribution system and the proposed internal distribution system including hydrants is identified on **Map 8**. A 200mm diameter looped waterline within the Plan Area, connecting to the 250mm diameter line existing in Highway 843, is proposed. The proposed water servicing and fire suppression is based on an estimated population between 346 to 467 people and the following assumptions:

Average Day Demand	177m ³ /day
Maximum Day Demand	355m ³ /day
Peak Hour Demand	16 L/s
Maximum Day Demand + Fireflow	87 L/s

Assumed water volumes and flow rates have been derived from the IMP data: Average Day Demand (ADD) 380 L/p/d; Maximum Day Demand 2 x ADD; Peak Hour Demand 4 x ADD; Fire flow Residential 83 L/s.

Municipal confirmation that downstream infrastructure has the capacity to convey and treat water to the proposed development shall be required for Subdivision and/or Development Permit approvals.

6.4 SANITARY

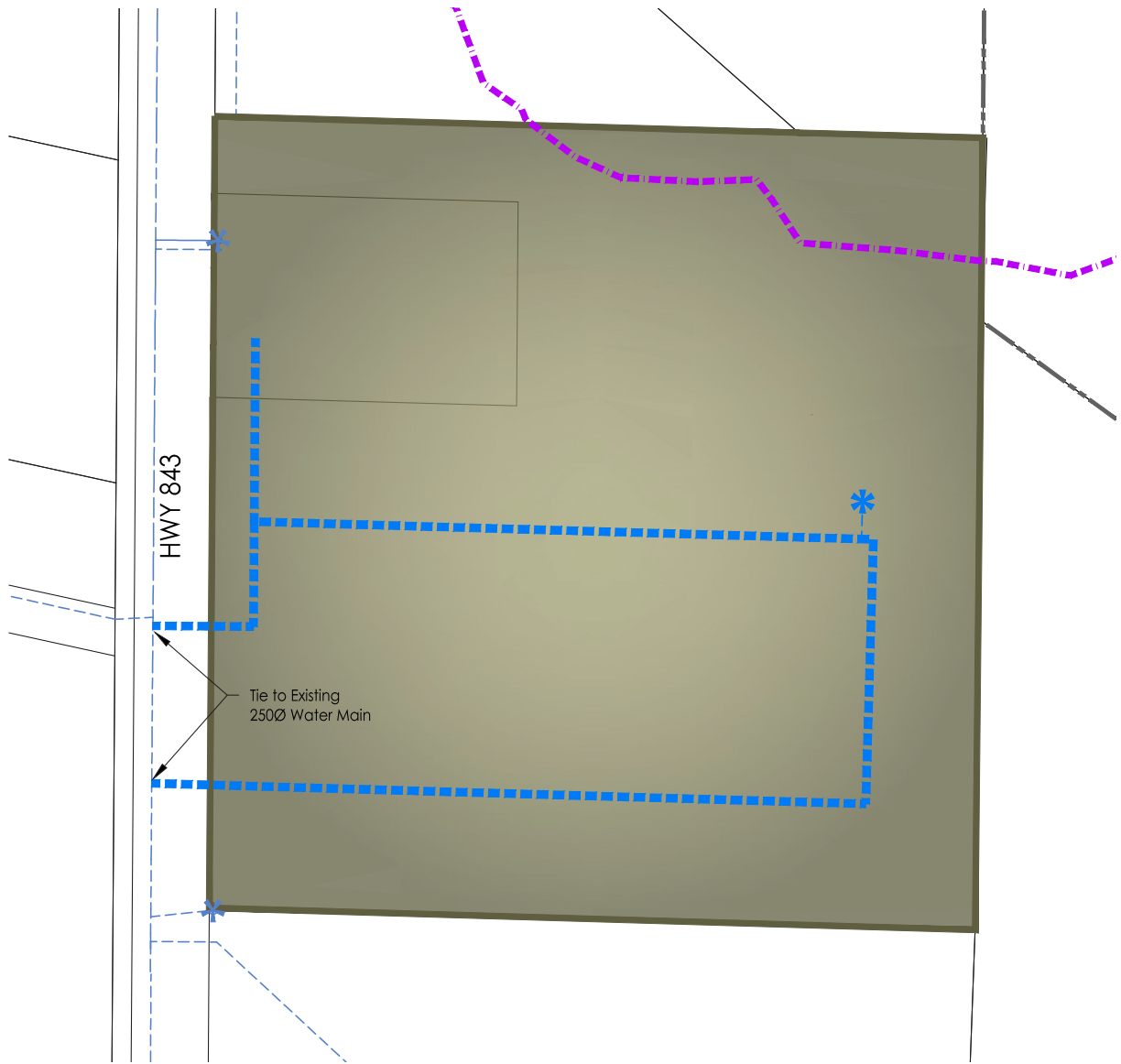
The Town's existing sewage conveyance system and the proposed internal conveyance system is identified on **Map 9**. A 200mm conveyance sewer connecting to a 375mm diameter line existing in the NW corner of the parcel is proposed. This area is serviced by an existing lift station. The proposed sanitary servicing is based on a full build out scenario with the maximum estimated population of 467 people, a service area of 4.13ha, and the following assumptions:

Average Day Sewage Generation	159m ³ /day
Peak Dry Weather Flow (DWFx4)	7.3 L/s
Inflow and Infiltration (I&I)	1.2 L/s
Peak Wet Weather Flow	8.5 L/s








Assumed sewage volumes and flow rates have been derived from the IMP data: Dry Weather Flow (DWF) 340 L/p/d; Wet Weather I&I 0.28L/s/Ha.

Subdivision and Development Permits may only proceed following Municipal confirmation that downstream infrastructure has the capacity to convey and treat wastewater from the proposed development.

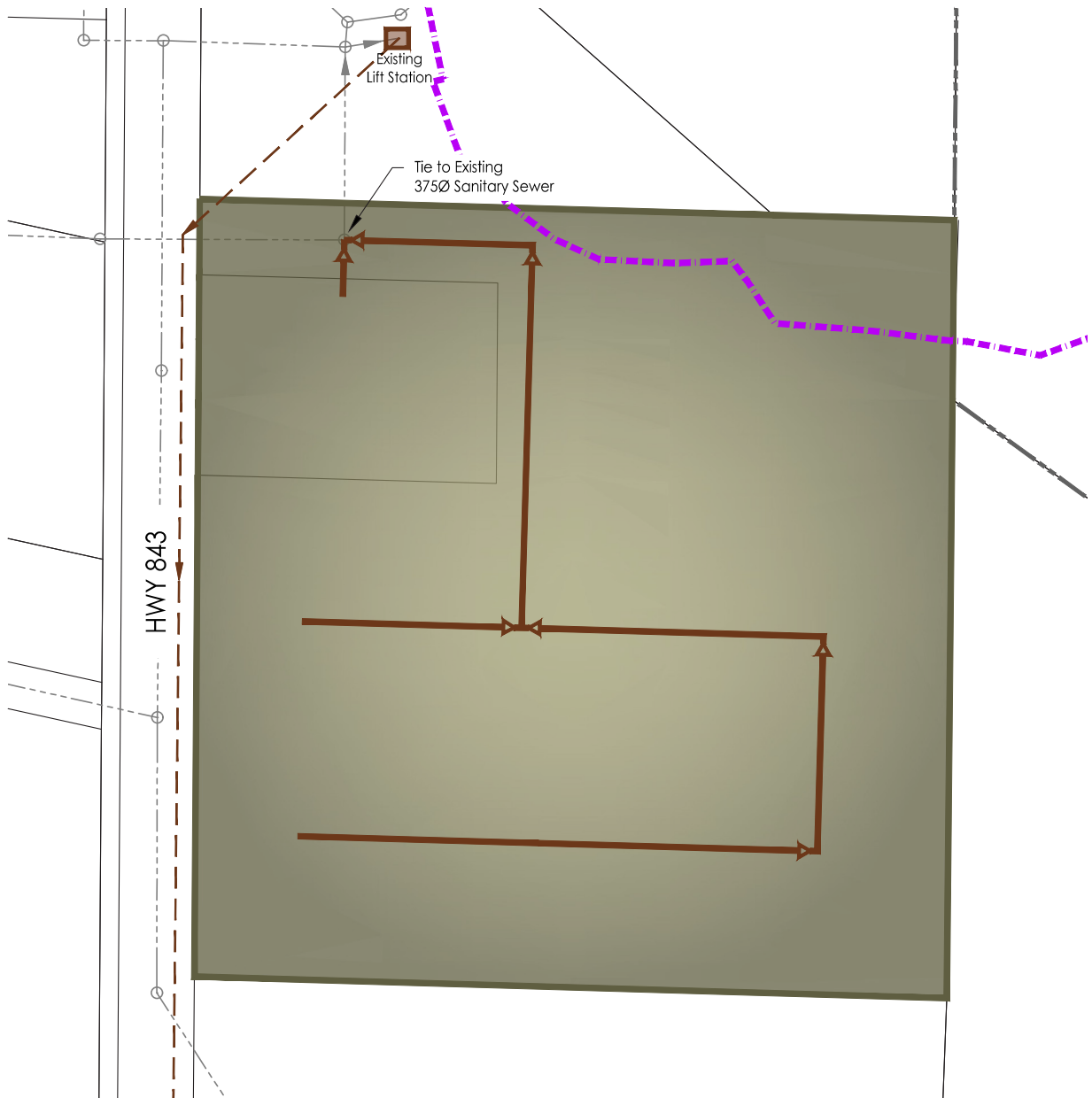
Map 8 Water Servicing









Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Proposed Watermain
-  Proposed Hydrant
-  Existing Watermain
-  Existing Hydrant
-  Development Setback Line

Map 9 Sanitary Servicing



Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Proposed Gravity Sewer
-  Existing Forcemain
-  Existing Gravity Sewer
-  Development Setback Line

6.5 STORMWATER

The ASP is in a future southerly drainage catchment as defined in the IMP that has allocated a 1.16 L/s/Ha release rate to a new Piyami Coulee outfall. It is assumed that construction of this future stormwater trunk system and regional ponds is not a near term development project for the municipality, as identified on **Map 10**. The Plan Area has been identified as a priority location for urban growth within the Town and is situated at the northerly margin of this drainage catchment, the following servicing options would allow for near term development.

Option 1

A new outfall to Piyami Coulee will be designed and constructed (subject to regulatory approval) as illustrated on **Map 11**. Under this scenario, a dry pond will accommodate pre-development drainage levels and will discharge to the Piyami Coulee with appropriate treatment and erosion control measures

Option 2

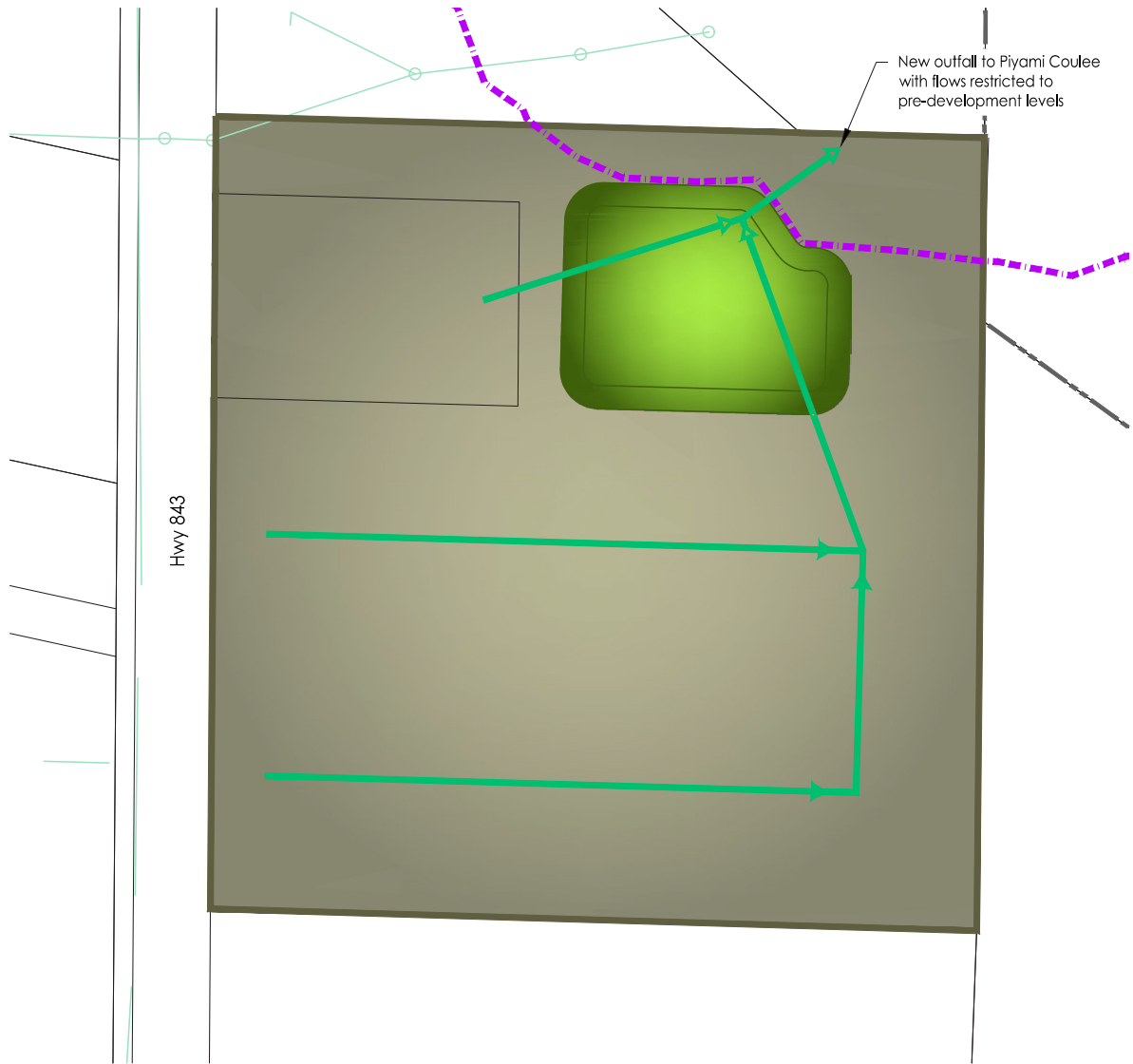
The development will be connected to the existing outfall as illustrated on **Map 12** along the north boundary of the Plan Area. Under this scenario, drainage from the dry pond will be restricted to a prescribed release rate that is confirmed by the municipality and utilizes a portion of the residual capacity of the existing outfall. The approval of a new outfall under the Water Act would not be required, however, water diversion from existing drainage patterns would still require Water Act approval.

Regardless of the outfall option that is chosen for the development, Butte Landing will incorporate a stormwater management system that conveys, treats, and attenuates urban development flows to pre-development conditions using a minor storm sewer system and a major storm system that manages surface run-off during extreme rainfall events. All parcel and lot grading plans shall conform with the overall stormwater management plan as required by the Town at the subdivision or development stage.

Map 10 South Residential Drainage Strategy









Map 11 Stormwater Servicing - Option 1



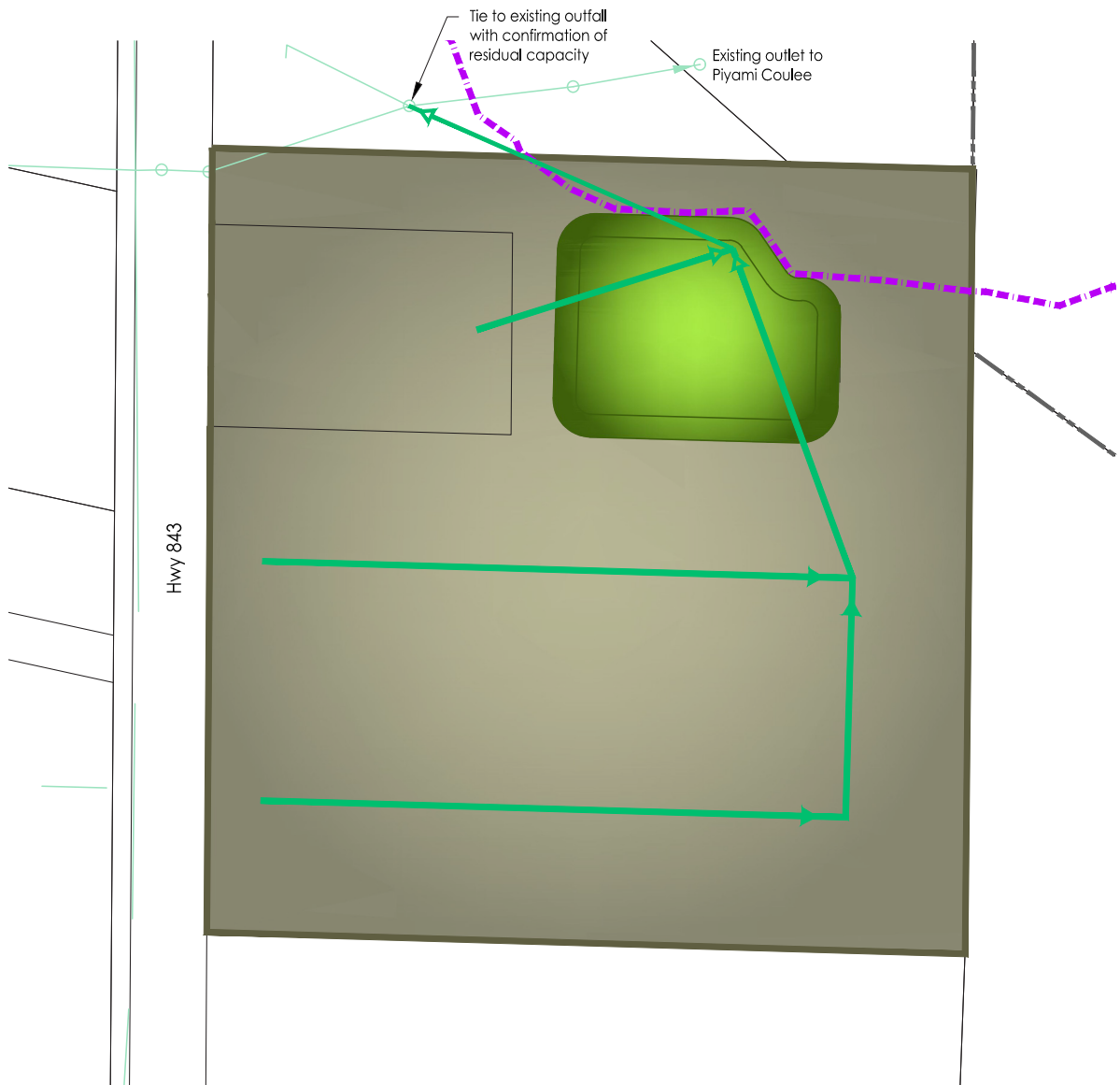
New outfall to Piyami Coulee with flows restricted to pre-development levels

Hwy 843







Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Proposed Storm Sewer
-  Existing Storm Sewer
-  Stormwater Management Facility
-  Development Setback Line

Map 12 Stormwater Servicing - Option 2



Legend

-  ASP Boundary
-  Town of Picture Butte Boundary
-  Proposed Storm Sewer
-  Existing Storm Sewer
-  Stormwater Management Facility
-  Development Setback Line

7 IMPLEMENTATION

The ASP outlines the vision for growth in the community and provide guidance with regard to infrastructure, land use, subdivision, and development. The purpose of this section is to describe how this vision will be implemented and provide detail on the sequencing of development.

Following ASP adoption, implementation of Butte Landing will proceed through land use re-designation, subdivision and detailed engineering, the construction of infrastructure and a multi-unit development through to occupancy. It is the intent that all on-site utilities and roads will be under the direct control of a condo/strata corporation and that the municipality's ownership and maintenance of infrastructure will be limited to future improvements within the ASP boundary.

At the time of subdivision or development the Town will require a detailed site plan which all include the delineation of required parking spaces, driveways and roads, amenity areas, and utility right of ways.

7.1 PHASING

The development envisioned in this ASP will occur in phases as identified on **Map 13**. A summary of integral infrastructure improvements in support of phased development are identified below.

Phase 1 development will require:

- Completion of Primary and Secondary Emergency site access points. The secondary access will be limited to emergency vehicles only and will not be open to public use until full build out of the development occurs.
- Completion of Stormwater Management Facility, Outflow Controls, Off-site Storm Sewer and Water Act Approvals.
- Completion of one water connection to the 250mm water main in Highway 843 with suitable terminations for flushing.
- Completion of sewer connection to 375mm sanitary sewer in the NW of the Plan Area.

Phase 2 development will require:

- Extension of all infrastructure east with suitable terminations of utilities and vehicle turnarounds.

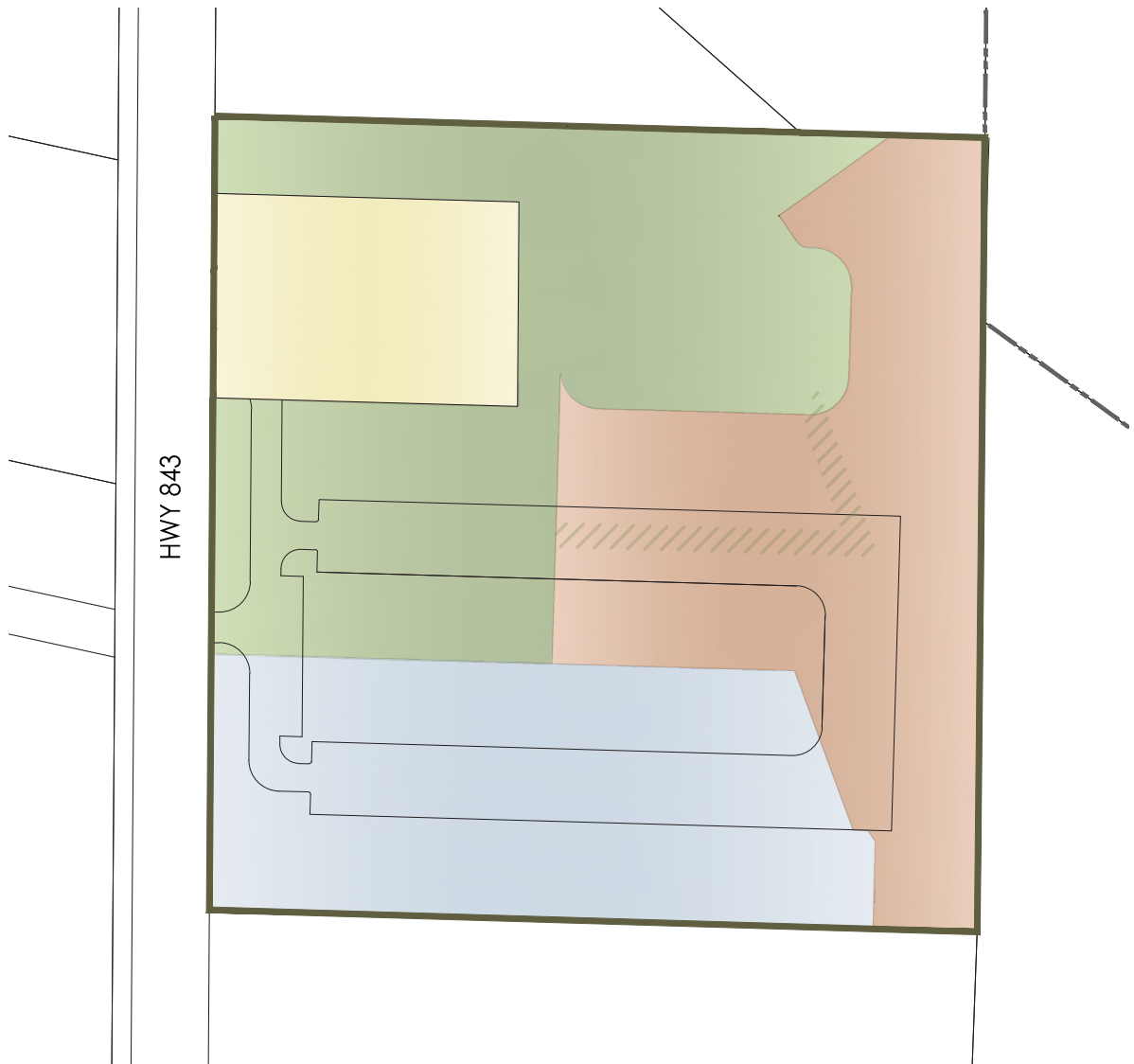
Phase 3 development will require:

- Extension of all infrastructure west with final water line looping to the 250mm water main in Highway 843.






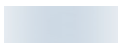
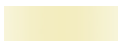
Phase 4 development will require:

- Extension of all utilities from Phase 1 into the remaining lands of the Plan Area.
- Reconstruction of the secondary emergency access into an urbanized community access point.

Map 13 Phasing & Implementation Plan



Legend

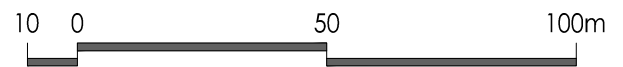
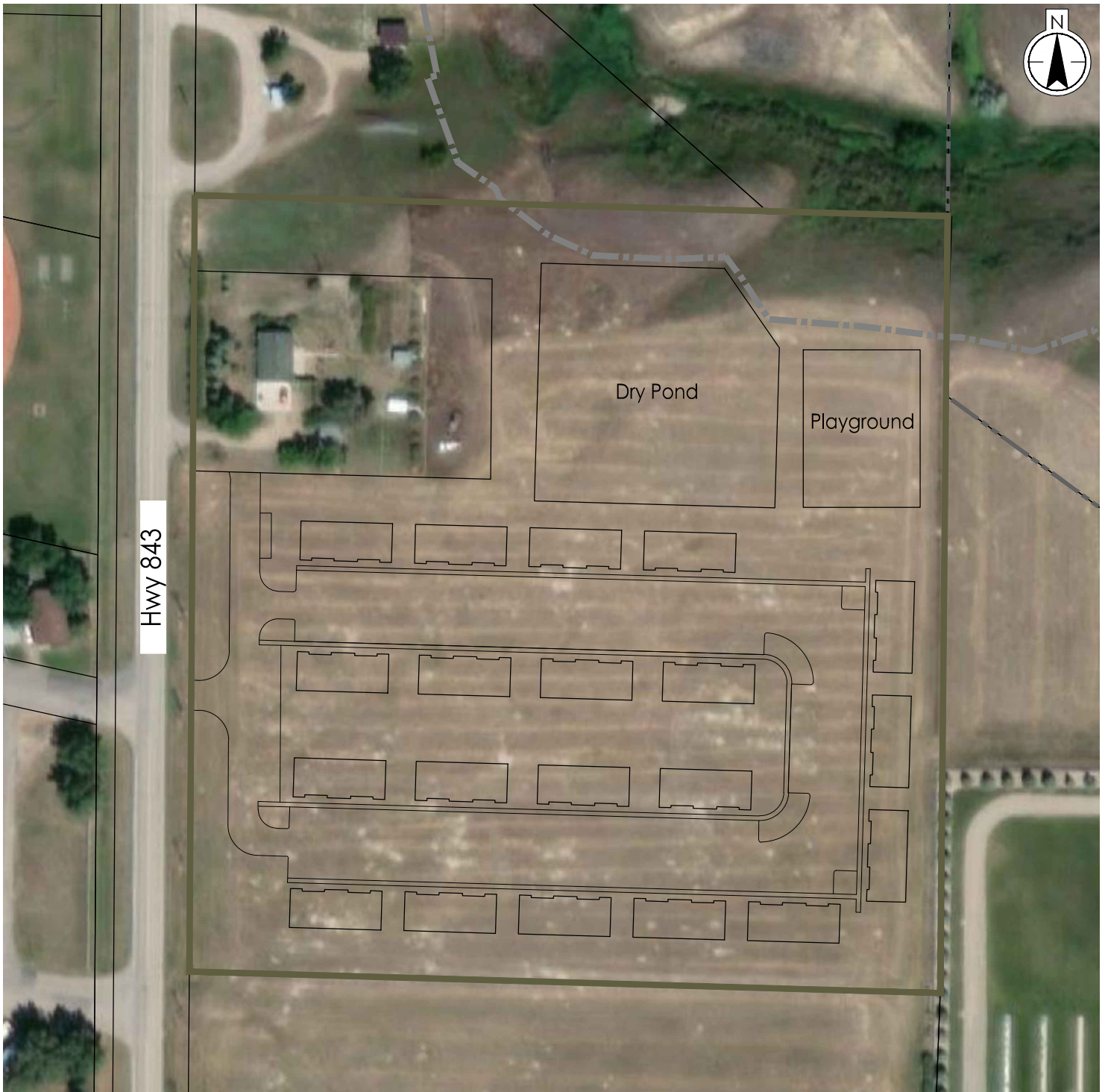
-  ASP Boundary
-  Town of Picture Butte Boundary
-  Phase 1
-  Phase 1 Offsite Storm
-  Phase 2
-  Phase 3
-  Phase 4

APPENDICES

The following appendices do not form part of the statutory portion of the ASP. The intent of the appendices is to provide supplementary information for interpretation of components within the ASP, and additional information with respect to certain policy sections of the ASP.

Appendices Contents

- Appendix A: Conceptual Site Layout
- Appendix B: Geotechnical Evaluation and Slope Stability Analysis (2023)
- Appendix C: Historical Resources Act Clearance (2023)
- Appendix D: Transportation Impact Analysis (2023)
- Appendix E: Phase 1 Environmental Site Assessment (2023)



SCALE 1:1500

- ASP Boundary
- Town of Picture Butte Boundary

The purpose of this section is to provide an illustration of potential building locations within the Residential lands. This development staging is conceptual in nature and may not reflect actual buildout.

MAP A1 | BUTTE LANDING - AREA STRUCTURE PLAN
Conceptual Site Layout



116549067
 January 17, 2024

PREPARED FOR: OAK POINT INC.

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 2024/01/23 1:55 PM By: Van Maanen, Marvin

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Geotechnical Evaluation and Slope Stability Analysis Oak Pointe Residential Subdivision Picture Butte, Alberta



PRESENTED TO
Stantec Consulting Ltd.

AUGUST 2023
ISSUED FOR USE
FILE: ENG.LGEO04650-01

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TABLE OF CONTENTS

- 1.0 INTRODUCTION..... 1**
- 2.0 PROJECT DESCRIPTION AND SCOPE OF WORK 1**
- 3.0 GEOTECHNICAL FIELD AND LABORATORY WORK 2**
- 4.0 SITE CONDITIONS 2**
 - 4.1 Surface Features2
 - 4.2 Mining Activity2
 - 4.3 Soil Stratigraphy.....3
 - 4.3.1 Topsoil3
 - 4.3.2 Clay3
 - 4.3.3 Clay Till3
 - 4.4 Groundwater Conditions3
- 5.0 RECOMMENDATIONS 4**
 - 5.1 Site Development4
 - 5.1.1 Topsoil Depth.....4
 - 5.1.2 Lot Grading4
 - 5.1.3 Backfill Materials5
 - 5.1.4 Construction Excavations5
 - 5.1.5 Trench Backfill and Compaction5
 - 5.2 Pavement Structures6
 - 5.2.1 Subgrade Preparation.....6
 - 5.2.2 Gravel Pavement Structures.....6
 - 5.2.3 Asphalt Pavement Structures6
 - 5.3 Foundations7
 - 5.3.1 General7
 - 5.3.2 Limit States Design.....7
 - 5.3.3 Shallow Foundations8
 - 5.3.4 Foundation Perimeter Drainage Requirements8
 - 5.3.5 Below-Grade Walls9
 - 5.3.6 Floor Slab System9
 - 5.3.7 Building Site Grading10
 - 5.3.8 Seismic Design10
 - 5.3.9 Cement Type10
 - 5.3.10 Frost Protection10
 - 5.4 Stormwater Dry Pond Development10
 - 5.4.1 General10
 - 5.4.2 Design Considerations.....11
 - 5.4.3 Pond Construction11
- 6.0 SLOPE STABILITY ASSESSMENT AND DEVELOPMENT GUIDELINES..... 12**
 - 6.1 Site Description.....12

6.2	Site Reconnaissance	12
6.3	Slope Stability Analysis.....	13
6.3.1	General	13
6.3.2	Soil Strength Parameters.....	13
6.3.3	Long-Term Stability.....	14
6.3.4	Impact of Development.....	14
6.4	Development Setback Requirements	14
6.5	Development Guidelines.....	15
7.0	DESIGN AND CONSTRUCTION GUIDELINES	15
8.0	CLOSURE.....	16

LIST OF TABLES IN TEXT

Table A:	Groundwater Monitoring Data – June 29 and July 11, 2023.....	4
Table B:	Recommended Pavement Structures	7
Table C:	Soil Resistance Factors – Shallow Foundations	8

APPENDIX SECTIONS

FIGURES

- Figure 1 Site Plan
- Figure 2 Borehole Location Plan
- Figure 3 Site Plan Showing Site Survey
- Figure 4 Section A and B
- Figure 5 Section C
- Figure 5 Development Setback Limits

PHOTOGRAPHS

- Photo 1 Northwest End of the Site – Facing East.
- Photo 2 Northeast End of the Site – Facing Northwest.
- Photo 3 Across Tributary Coulee – Facing South at Site Slope.
- Photo 4 Across Tributary Coulee – Facing Southwest at Site Slope.
- Photo 5 Culvert Upstream of the Tributary Coulee.
- Photo 6 Culvert Along Site Slope.
- Photo 7 Channel Visible at the Toe of the Site Slope – Facing South Across the Tributary Coulee.
- Photo 8 Historical Instability on Slope North of Site – Facing East.

APPENDICES

- Appendix A Limitations on Use of This Document
- Appendix B Borehole Logs
- Appendix C Design and Construction Guidelines

LIMITATIONS OF REPORT

This report and its contents are intended for the sole use of Stantec Consulting Ltd., and their agents. Tetra Tech Canada Inc. (Tetra Tech) does not accept any responsibility for the accuracy of any of the data, the analysis, or the recommendations contained or referenced in the report when the report is used or relied upon by any Party other than Stantec Consulting Ltd., or for any Project other than the proposed development at the subject site. Any such unauthorized use of this report is at the sole risk of the user. Use of this document is subject to the Limitations on Use of this Document attached in Appendix A or Contractual Terms and Conditions executed by both parties.

1.0 INTRODUCTION

This report presents the results of a geotechnical evaluation conducted by Tetra Tech Canada Inc. (Tetra Tech) for the proposed Oak Pointe residential subdivision development, to be located within the town of Picture Butte, Alberta (Figure 1). The site legal address is described as Legal Subdivision 13, Section 34, Township 04, Range21, West of the fourth Meridian.

The scope of work for the geotechnical evaluation was outlined in a proposal (Tetra Tech File No. PENG.LGEO04650-01) issued to Mr. Marvin Van Maanen, of Stantec Consulting Ltd. (Stantec), on June 7, 2023. The objective of this evaluation was to determine the general subsurface stratigraphy and groundwater conditions in the area of the proposed development and to provide general recommendations for the geotechnical aspects of design and construction for the project.

Authorization to proceed with the evaluation was provided by Mr. Van Maanen, of Stantec, by a signed Services Agreement on June 13, 2023.

2.0 PROJECT DESCRIPTION AND SCOPE OF WORK

It is understood that the proposed residential subdivision will comprise 18, four-unit buildings for a total of 72 three-bedroom units with underground utilities, a stormwater dry pond, paved roadways, a mini storage facility, and a playground. The total planned area is approximately 3.72 hectares (ha.).

Shallow foundations with a floor slabs-on-grade system are typically considered for residential developments in southern Alberta. Alternatively, a deep pile foundation system, such as bored cast-in-place piles or screw piles, is also considered feasible; however, may not be as economically viable when compared to a shallow foundation system for the relatively light loaded residence structures.

The scope of work for this evaluation comprised the drilling of four (4) boreholes, a laboratory program to assist in classification of the subsurface soils, and this report providing the following design and construction recommendations:

- General site grading.
- Slope stability assessment and development setbacks.
- Construction of below-grade utilities.
- Shallow foundations and below-grade structures.
- Design and installation of floor slabs-on-grade system.
- Suitability of compacted clay liners.
- Design and construction of dry pond.
- Classification of site for seismic design.
- Volumetric changes of soil due to changes in moisture content and/or frost.
- Construction of subgrades, backfill materials, and compaction.
- Roadway subgrade preparation.
- Concrete type for structured elements in contact with soil.

3.0 GEOTECHNICAL FIELD AND LABORATORY WORK

The fieldwork for this evaluation was carried out on June 20, 2023. A truck-mounted drill rig was contracted from Chilako Drilling Services Ltd. of Coaldale, Alberta. The rig was equipped with 150 mm diameter solid stem continuous flight augers. Tetra Tech's field representatives were Mr. Jackson Meadows and Daniel Linderman. Buried utility locating was carried out through Alberta One-Call.

Four (4) boreholes (23BH001 through 23BH004) were drilled across the site to depths of between 24.8 m and 6.6 m below the existing ground surface. The borehole locations are depicted on Figure 2. The borehole elevations were interpreted from the information provided by Stantec, with coordinates obtained by Tetra Tech using a handheld GPS. Borehole coordinates and elevations are shown on the borehole logs provided in Appendix B.

In all boreholes, disturbed grab samples were obtained at depth intervals of approximately 600 mm. Standard Penetration Tests (SPT) were completed at intervals of 1.5 m. All soil samples were visually classified in the field, and the individual soil strata and the interfaces between them were noted. The borehole logs are presented in Appendix B. An explanation of the terms and symbols used on the borehole logs is also included in Appendix B.

Slotted 25 mm diameter polyvinyl chloride (PVC) standpipes were installed in each of the boreholes in order to monitor the groundwater levels. Auger cuttings were used to backfill around the standpipes and the boreholes were sealed at the ground surface with bentonite chips.

Soil classification tests, including natural moisture content, Atterberg Limits, and soluble sulphate content, were subsequently performed in the laboratory on samples collected from the boreholes to aid in the determination of engineering properties. The results of the laboratory tests are presented on the borehole logs in Appendix B.

4.0 SITE CONDITIONS

4.1 Surface Features

The site is located at prairie level within the southeast portion of the town limits of Picture Butte, Alberta, adjacent to Highway 843 to the west and the Picture Butte Memorial Cemetery to the southeast. The site is currently hay land with partial development on the northwest corner, approximately 3.72 ha. in area (Figure 2). The overall site drains towards the northeast corner which abuts sideslopes of an Oldman River tributary coulee (Photo 1 through Photo 4).

As part of the evaluation, Tetra Tech reviewed historical aerial photographs of the site and surrounding area. The following observations were noted:

- The site was relatively undeveloped agricultural land as far back as 1951 (oldest aerial photographs available).
- Structures in the northwest corner of the project site were visible in the 1970 aerial photograph.
- Further development in the northwest corner of the project site and a berm/dam structure across the tributary coulee to the northwest of the site was visible in the 1978 aerial photograph. The berm/dam structure appears to be installed to handle seasonal water.
- The structures closest to the tributary were gone in the 1999 aerial photograph.

4.2 Mining Activity

Research was conducted by Tetra Tech to review the possible existence of mine workings within the boundary of the site, including publications by the Alberta Energy Regulator and various documents contained in Tetra Tech's library regarding the coal mining industry in Picture Butte. The literature indicated the presence of a mine located adjacent to the subject site to northwest of the surrounding area (Figures 2 and 3).

Based on Tetra Tech's review of these mining characteristics, given the depth of the coal mine workings and the distance from the site, it is considered unlikely that the proposed development would have significant adverse effects due to the presence of historical mine workings.

4.3 Soil Stratigraphy

The general subsurface stratigraphy of the project site generally comprised a surficial layer of topsoil, underlain by native clay and clay till deposits. The following subsections provide a summary of the stratigraphic units encountered at the specific borehole locations across the site. A more detailed description is provided on the borehole logs presented in Appendix B.

4.3.1 Topsoil

Topsoil was encountered at the borehole locations, with thicknesses of between 50 mm and 200 mm. Due to previous agricultural practices and depositional processes (i.e., wind), the topsoil layer is expected to vary in thickness. A detailed topsoil investigation may be required to determine stripping volumes.

4.3.2 Clay

A layer of clay was encountered at three (3) of the borehole locations under the topsoil layer (23BH002, 23BH003, and 23BH004), extending to depths of between 1.0 m and 1.8 m below grade level. The clay was generally described as silty, trace sand to sandy, damp to moist, very stiff, generally low to high plastic, and light brown or brown with occasional white precipitates. Moisture content tests taken on clay samples generally ranged between 9% and 17%.

A SPT "N" value within this layer indicated 12 blows per 300 mm penetration, indicative of a stiff to very stiff consistency.

4.3.3 Clay Till

Clay till was encountered beneath the clay layer, extending to the borehole termination depths. The clay till was generally described as silty, some sand, trace gravel, moist to very moist, low to medium plastic, stiff to very stiff, and brown with dark brown mottling, grey brown, and grey green, with coal and oxide specks. Occasional silt and sand pockets, and high plastic clay inclusions along with interbedded silt layers were encountered within the clay till. Moisture content tests taken on clay till samples ranged between 12% and 24%. Atterberg Limits testing (six tests) indicated Liquid Limits ranging between 24% and 30%, and Plastic Limits ranging between 13% and 15%; indicative of low to medium plasticity.

A medium to high plastic clay layer was encountered within the clay till in 23BH002 and 23BH003 with thickness of approximately 400 mm to 800 mm. Atterberg Limits testing (one test from 23BH002) indicated a Liquid Limit of 66% and a Plastic Limit of 25% indicative of high plasticity.

SPT "N" values within this layer ranged from 10 to 25 blows per 300 mm penetration, indicative of a stiff to very stiff consistency.

4.4 Groundwater Conditions

During the field drilling, no groundwater seepage or sloughing was encountered in the boreholes. The groundwater levels were measured on June 29, 2023, and on July 11, 2023. Table A summarizes the groundwater monitoring data.

Table A: Groundwater Monitoring Data – June 29 and July 11, 2023

Borehole Number	Depth of Standpipe (m)	Borehole Elevation (m)	Depth to Groundwater (m)		Groundwater Elevation (m)	
			June 29, 2023	July 11, 2023	June 29, 2023	July 11, 2023
23BH001	24.8	897.54	16.37	13.23	881.17	884.31
23BH002	24.8	899.25	15.32	11.98	883.93	887.27
23BH003	6.6	899.73	Dry	Dry	-	-
23BH004	6.6	899.23	Dry	Dry	-	-

5.0 RECOMMENDATIONS

The recommendations that follow provide varying options intended to aid in the development of project concepts and specifications. The recommendations are based on the understanding and condition that Tetra Tech will be retained to review the relevant aspects of the final design (drawings and specifications) and to conduct such field reviews as are necessary to ensure compliance with the geotechnical aspects of the National Building Code - 2019 Alberta Edition, the Town of Picture Butte Land Use Bylaw No. 841-18, the 2019 Lethbridge County Engineering Guidelines & Minimum Servicing Standards, this report, and the final plans and specifications. Tetra Tech accepts no liability for any use of this report in the event that Tetra Tech is not retained to provide these review services.

Specific recommendations that apply to this project are provided for site development, pavement structures, foundations and floor slab systems, stormwater management facilities (dry pond), and development setback lines with respect to the potential slope stability issues.

5.1 Site Development

5.1.1 Topsoil Depth

The initial topsoil stripping depth should be considered as being of particular importance with regard to site subgrade grading design elevations. Based on the findings of the field drilling program, the surficial topsoil (A Horizon) layer thickness generally varies between 50 mm and 200 mm; however, may be somewhat variable in thickness due to historical cultivation practices of the land surface and/or depositional processes (i.e., wind). Consideration can be given however, to incorporating the underlying B Horizon layer (organic content <5%) into the fill mass during general site grading. Full-time monitoring by experienced personnel is recommended in order to avoid over-stripping and to ensure appropriate material mixing and placement.

5.1.2 Lot Grading

It is assumed that surficial drainage will be directed towards a catchment pond or dry pond to be located on the north end of the site (Figure 3). The following recommendations are provided for lot grading.

Following organic topsoil stripping, all lots should be graded for drainage at a minimum gradient of 2.0%. The existing site soils, comprising low to medium plastic clay and clay till which are considered suitable for use as landscape fill materials and for use as general engineered fill materials for lot grading, provided they are acceptably moisture conditioned. High plastic clay should be expected at some locations and be separately stockpiled and not be used for generally engineered fill due to its high swelling potential. The moisture content of the site soils generally appear to be variable with respect to the anticipated optimum moisture content (OMC). Moisture conditioning will likely be required at the site for proper compaction. Although soil moisture variability should be expected, the earthwork contractor should assess the requirements and should consider such factors as weather and construction procedures.

General engineered cohesive fill materials for lot grading should be moisture conditioned to within a range of 0% to +2% of the OMC prior to compaction and compacted to a minimum of 98% of Standard Proctor Density (SPD). Granular materials, if used, placed as “general engineered fill” should be compacted within a range of $\pm 1\%$ of OMC.

5.1.3 Backfill Materials

The low to medium plastic soils on site, including native clay and clay till, are considered acceptable as general engineered fill materials for site grading purposes. Any sand or silt, if locally encountered, are only considered suitable for landscaping purposes or backfill below frost protection depths due to high frost susceptibility. High plastic clay, if encountered, should not be used as general engineered fill materials. The near-surface clay soils appear to be variable in moisture content across the site; and therefore, moisture conditioning will be required for proper backfill placement. The earthwork contractor should make his/her own estimate of the requirements for moisture conditioning to the recommended standards and should consider such factors as weather and construction procedures.

Further recommendations regarding backfill materials and compaction are contained in Appendix C.

5.1.4 Construction Excavations

Excavations should be carried out in accordance with Alberta Occupational Health and Safety Regulations. For excavations required for underground utilities, for example the water lines, the excavation depth is understood to be less than 3.0 m from final grade. The following recommendations notwithstanding, the responsibility of all excavation cutslopes resides with the Contractor, who should take into consideration site-specific conditions concerning soil stratigraphy and groundwater. All excavations should be reviewed by the Contractor prior to personnel working within the base of the excavation.

Based on the findings of the drilling program, very stiff clay soils, in damp to moist conditions, are generally anticipated to be encountered within 3.0 m below grade during excavation. Short-term excavations (open for less than one month) within the very stiff clay soils which are to be deeper than 1.5 m should have the sides shored and braced or the slopes should be cut back no steeper than 1.0 horizontal to 1.3 vertical (1.0H:1.3V). In areas where compact sandy soils or firm to stiff clay soils or seepage are encountered, a cutslope of 1.0H:1.0V or flatter should be considered.

Spill piles or temporary surcharge loads should not be allowed within a distance equal to the depth of the excavation from an unsupported excavation face, while mobile equipment should be kept back at least 3.0 m. All excavations should be checked regularly for signs of sloughing, especially after rainfall periods. Small earth falls from the sideslopes are a potential danger to workers and must be guarded against.

General recommendations regarding construction excavations are contained in Appendix C.

5.1.5 Trench Backfill and Compaction

The level of compaction of the backfill must be suitable to limit post-construction trench settlement. A minimum compaction level of 95% of SPD is recommended for backfill within the pipe zone of the trench (to 300 mm above the top of pipe). For the remainder of the trench backfill, a minimum compaction standard of 98% of SPD should be utilized in all areas. The compacted thickness of each lift of backfill shall not exceed 250 mm. Moisture conditioning to OMC and 2% over OMC of the soils should be specified for general trench backfill. During placement of the backfill materials it is recommended that ‘notching’ of the excavation sidewalls (1.0H:1.0V) occur with every 1 m of height to develop a bond between the native soils and backfill materials, resulting in less potential for long-term settlement or consolidation.

It should be noted that the ultimate performance of the trench backfill is directly related to the uniformity of the backfill compaction. In order to achieve the uniformity, the lift thickness and compaction criteria should be strictly enforced. General recommendations regarding backfill materials and compaction are contained in Appendix C.

For frost protection, pipes buried with less than 2.0 m of soil cover (above top of pipe) should be protected with insulation to avoid frost damage to, or breakage of, the pipes. Rigid insulation placed under areas subject to vehicular wheel loadings should be provided with a minimum thickness of 600 mm of compacted granular base.

General recommendations regarding construction excavation and backfill materials and compaction are contained in Appendix C.

5.2 Pavement Structures

5.2.1 Subgrade Preparation

Within all roadway areas, following stripping of topsoil, the exposed subgrade should be proof-rolled to assess the subgrade characteristics. Following the proof-roll, a minimum subgrade preparation depth of 300 mm is recommended in all areas in order to improve subgrade uniformity. Where softer soils are encountered, subgrade preparation of 600 mm or more may be necessary. Subgrade preparation includes scarification, moisture conditioning to between OMC and +1% of OMC, and uniform compaction to a minimum of 98% of SPD.

Backfill to raise the subgrade level should be general engineered fill materials, as defined in Appendix C, moisture conditioned and compacted as noted previously. The subgrade should be prepared and graded to allow drainage into drainage ditches or catchbasins, if available. Proof-rolling of the prepared surface is recommended to identify localized soft areas and for an indication of overall subgrade support characteristics.

It is imperative that positive surface drainage be provided to prevent ponding of water within the roadway structure and subsequent softening and loss of strength of the subgrade materials. Surrounding landscaping should be such that runoff water is prevented from ponding beside paved areas in order to avoid softening and premature failure of the pavement surface.

5.2.2 Gravel Pavement Structures

The following minimum gravel pavement structure, using the subgrade preparation procedures in Section 5.2.1, is recommended. Both gravel materials should be compacted to 100% of SPD.

- 100 mm of crushed gravel or base gravel (25 mm minus), over
- 200 mm of pit run gravel or sub-base gravel over prepared clay subgrade.

It is imperative that positive surface drainage of gravel pavement be established to prevent ponding of water. Recommended minimum grades of 2% should be used in gravel surfaced areas. Surrounding landscaping should be such that runoff water is prevented from ponding beside gravelled areas.

5.2.3 Asphalt Pavement Structures

With no detailed traffic load available at the time of this reporting, Tetra Tech recommends the use of the “Local/Residential Roads” pavement structure in accordance with the Lethbridge County Engineering Guidelines & Minimum Servicing Standards (2019) for light duty parking areas and access roadways with light traffic or less than 0.3 million of 20-year of design equivalent single axle loadings (ESALs). The light duty structure is suitable for occasional single-axle delivery trucks and perhaps weekly garbage trucks. If more frequent truck traffic or design ESALs of greater than 0.3 million but less than 1.0 million is expected, the moderate duty structure should be used. The recommended pavement structures are presented in Table B.

Table B: Recommended Pavement Structures

Material Type	Light Duty (Local)	Moderate Duty (Arterial/Collectors)
Asphalt Pavement (mm)	120	150
Granular Base Course (mm)	300	300
Subgrade Preparation (mm)	300	300

For heavy duty loading aprons and refuse collection pads, the use of a Portland Cement concrete pavement is recommended, with a minimum thickness of 180 mm overlying 200 mm of crushed granular base course.

The recommended pavement layer thicknesses generally refer to average values and recognize typical construction variability. As-constructed layer thicknesses should satisfy the thickness tolerances identified in the Lethbridge County Engineering Guidelines & Minimum Servicing Standards (2019) (or equivalent) for granular materials and asphalt concrete.

5.3 Foundations

5.3.1 General

Based on the soil conditions encountered at the borehole locations, shallow foundations are considered suitable for the proposed residential development. Deep pile foundations are considered technically feasible; however, may not be preferred due to the relatively high cost and are not discussed and included in this report.

All shallow foundation design recommendations presented in this report are based on the assumption that an adequate level of monitoring by Tetra Tech will be provided during construction and that all construction will be carried out by suitably qualified contractors, experienced in foundation and earthworks construction. An adequate level of monitoring is considered to be the following:

- For shallow foundations; inspection of bearing surfaces prior to placement of concrete or mudslab, and design review during construction.
- For earthworks; full-time monitoring and compaction testing.

Suitably qualified persons, independent of the Contractor, should carry out all such monitoring. One of the purposes of providing an adequate level of monitoring is to check that recommendations, based on data obtained at discrete borehole locations, are relevant to other areas of the site.

5.3.2 Limit States Design

The design parameters provided in the following sections may be used to calculate the ultimate foundation capacity in each case. For the Limit States Design (LSD) methodology, in order to calculate the factored load capacity, the appropriate Soil Resistance Factors must be applied to each loading condition as follows:

$$\text{Factored Capacity} = \text{Ultimate Capacity} \times \text{Soil Resistance Factors}$$

In general, the soil resistance factors in Table C should be incorporated into the foundation design. These factors are considered to be in accordance with the Canadian Foundation Engineering Manual (CFEM) (2006) as well as the 2019 National Building Code of Canada - Alberta Edition.

Table C: Soil Resistance Factors – Shallow Foundations

Item	Soil Resistance Factor
Bearing Resistance	0.5
Passive Resistance	0.5
Horizontal Passive Resistance	0.5

Under LSD methodology, foundations should be designed on the basis of factored Ultimate Limit States (ULS) parameters. In order to determine the applicable working capacity, Serviceability Limit States (SLS) must also be considered.

5.3.3 Shallow Foundations

Shallow footings should be constructed a minimum of 1.4 m below the final design ground surface (frost protection requirement for footings under heated structures). For unheated structures, the footings should be constructed a minimum of 2.1 m below grade.

All footings should be founded on the stiff to very stiff native clay soils. Such soils meet the minimum bearing requirement for residence structures in accordance with the National Building Code – 2019 Alberta Edition. For specific foundation design, the ultimate static bearing pressure may be taken as 300 kPa, subject to other recommendations in this report. Factoring should be considered as noted in the previous section. Footing dimensions should be in accordance with the minimum requirements of the National Building Code – 2019 Alberta Edition.

Bearing certification by a geotechnical engineer is recommended to ensure that the shallow foundations are placed on competent native soils during construction. If weak soils are encountered at footing level, recommendations may be provided to remove the weak materials and bring the subcut back to design elevation with low strength lean mix concrete. Alternatively, it may be possible to lower the footing elevation to more competent native soils.

It is recommended that a grade-all bucket be used for final excavation to the foundation subgrade elevation to minimize disturbance of the founding soils. A 50 mm concrete mudslab should be placed immediately following excavation and inspection to protect the bearing surface from disturbance and inclement weather.

Further recommendations regarding shallow foundations are given in Appendix C.

5.3.4 Foundation Perimeter Drainage Requirements

It is recommended that a weeping tile and sump system be constructed around the outside perimeter of the buildings with basements to be constructed (at the base of the footings, if selected) to maintain a relatively consistent moisture profile of the subgrade soils. The weeping tile system should comprise a perforated weeping tile, in turn surrounded with a minimum of 150 mm thick blanket of washed rock (maximum size 20 mm), with the granular layer wrapped in non-woven geotextile. The weeping tile should have a minimum 0.5% slope leading to a sump.

5.3.5 Below-Grade Walls

All below-grade walls should be designed to resist lateral earth pressures in an “at-rest” condition. This condition assumes a triangular pressure distribution and may be calculated using the following expression:

$$P_o = K_o (\gamma H + Q)$$

Where:

- P_o = Lateral earth pressure “at-rest” condition (no wall movement occurs at a given depth).
- K_o = Coefficient of earth pressure “at-rest” condition (use 0.5 for cohesive backfill and 0.45 for sand and gravel backfill).
- γ = Bulk unit weight of backfill soil (use 19 or 21 kN/m³ for cohesive or granular backfill, respectively).
- H = Depth below final grade (m).
- Q = Surcharge pressure at ground level (kPa).

It is assumed that drainage will be provided for all below-grade walls through the installation of a weeping tile system, as described above, and hydrostatic pressures will not be a factor in design.

Backfill around concrete walls should not commence before the concrete has reached a minimum two thirds of its design strength and first floor framing is in place or the walls are laterally braced. Only hand-operated compaction equipment should be employed within 600 mm of the concrete walls. Caution should be used when compacting backfill to avoid high lateral loads caused by excessive compactive effort. A compaction standard of 95% of SPD is recommended. To avoid differential wall pressures, the backfill should be brought up evenly around the walls. A minimum 600 mm thick clay cap should be placed at the ground surface to reduce the infiltration of surface water.

5.3.6 Floor Slab System

5.3.6.1 Floor Slabs-on-Grade

Construction of floor slabs-on-grade for this project is considered feasible, provided the following precautions and construction recommendations are followed.

Following removal of topsoil and excavation to design elevations, the exposed native subgrade should be scarified to a minimum depth of 300 mm, and moisture conditioned to a range of optimum to 2% over OMC. In areas where general engineered fill placed during site grading is encountered, a minimum depth of 150 mm subgrade preparation is recommended; however, if weathering is evident, 300 mm subgrade preparation is required. The minimum compaction should be 98% of SPD. The prepared subgrade should be inspected and any, soft or loose pockets detected should be reconditioned, as recommended above, or over-excavated and replaced with general engineered fill.

A levelling course of clean well-graded crushed gravel, at least 150 mm in compacted thickness, is recommended directly beneath the slabs-on-grade, unless a thicker course is required for structural purposes. The subgrade beneath slabs-on-grade should be protected at all times from moisture or exposure which may cause softening or disturbance of the subgrade soils. This applies during and after the construction period (and before and after placement of the required general engineered fill). Should the exposed surface become saturated or disturbed, it should be reworked to achieve the above standards.

If the subgrade is properly prepared, as noted above, floor slab movements should be limited to less than approximately 25 mm. Slabs-on-grade should be separated from bearing members to allow some differential movement. If this movement is unacceptable, the owner should consider a structurally supported floor.

Recommended procedures for compaction and backfill materials, and further recommendations for floor slabs-on-grade construction are included in Appendix C.

5.3.7 Building Site Grading

Drainage of surface water away from buildings should be maintained during construction. The finished grade of the proposed building site should be designed so that surface water is drained away from buildings by the shortest route. All drains should discharge well clear of the buildings. If there is a roof drain for a building, caution should be taken where downspouts discharge due to the high probability of ice forming in the winter. Downspouts may be discharged onto landscaped areas, provided the water is carried, by means of a concrete splash pad or extendable section so the point of discharge of the water is at least 2 m from the building. Landscaped surfaces adjacent to the walls of the buildings should be graded to slope away from the buildings at a gradient of at least 5% within 2 m of the buildings' perimeter. General landscaped areas should have grades of no less than 2% to minimize ponding.

5.3.8 Seismic Design

The site classification recommended for seismic site response is Classification D, as noted in Table 4.1.8.4.a of the 2019 National Building Code of Canada – Alberta Edition.

5.3.9 Cement Type

Based on soluble sulphate concentration test results from selected samples (23BH003 and 23BH004) taken during the field program and Tetra Tech's experience on local soils, the properties of concrete for foundations in contact with soil shall meet the requirements of the Canadian Standards Association (CSA) A23.1-14, Class S-2 exposure including water/cementing materials (w/cm) ratio of 0.45, air entrainment of 4% to 7% (for 14 mm to 20 mm nominal maximum aggregate size), and a minimum specified 56-day compressive strength of 32 MPa.

For this exposure classification, alternatives include the usage of Type HS (sulphate-resistant) Portland Cement or blends of cement and supplementary cementing materials conforming to Type HSb cements.

5.3.10 Frost Protection

For protection against frost action, all perimeter footings must be placed a minimum of 1.4 m below final grade for heated structures, or 2.1 m for unheated structures.

Pipes buried with less than 2.1 m of soil cover should be protected with insulation to avoid frost effects that might cause damage to, or breakage of, the pipes.

5.4 Stormwater Dry Pond Development

5.4.1 General

The geotechnical aspects of design and construction of the stormwater management facility, should be in accordance with the pertinent sections of the "*Stormwater Management Guidelines for the Province of Alberta*", dated March 2013 and prepared by the Municipal Program Development Branch of Alberta Environmental Protection. Detailed recommendations for the design and construction of this facility are provided in this section. In addition, consideration should be given to local municipal jurisdictional requirements for these types of facilities.

A stormwater dry pond is understood to be proposed for this development and is to be constructed within the upper reach of the coulee (Figure 2). Specific details of the dry pond, with respect to footprint and depth are still under consideration and have not yet been finalized. It is recommended that Tetra Tech be provided the opportunity to

review the final configuration, as well as the design and construction aspects of the facility prior to construction, to ensure that the following recommendations are adhered to.

5.4.2 Design Considerations

Due to the proximity of the coulee slopes, where the slope stability is sensitive to the moisture increase of the slope soils, the dry pond should be designed with minimal water infiltration during storm events. Clay liner should be installed at the pond bottom and extend up along the interior sideslopes to the maximum operation water level, this will reduce the amount of potential seepage into the slope soils. A weep tile could be installed under the bottom of the pond to collect leakage water and improve the rate of the pond bottom drying out for easy maintenance. The water detention should be limited to 24 hours after the storm events in accordance with dry pond design requirement.

The use of the native clay till materials with medium to high plasticity encountered on this site (or clay till blended with the upper clay) for construction of a remoulded clay liner for the pond is considered feasible, provided certain precautions are undertaken, as recommended in the following sections. Clay liner should be provided with a minimum thickness of 600 mm at the pond bottom and interior sideslopes.

It is recommended that below the normal water level, the interior sideslopes should be no steeper than 4H:1V to 5H:1V, with a minimum slope in the bottom of the pond of 1% (2% is preferred). The maximum exterior sideslopes should be no greater than 3H:1V.

5.4.3 Pond Construction

5.4.3.1 General Base Preparation

Full-time monitoring is recommended by suitably qualified persons, independent of the Contractor. One of the purposes of providing an adequate level of monitoring is to check that recommendations, based on data obtained at discrete borehole locations, are relevant to other areas of the site.

Following stripping of any organic material from the base and sideslopes of the pond, the containment basin areas should be over-excavated beneath the proposed invert elevation in order to allow sufficient thickness of compacted clay base liner. The clay soils within the base of the excavation should then be scarified to a minimum depth of 300 mm, moisture conditioned to between OMC and +2% of OMC, and recompacted to a minimum of 98% of SPD. The intent is to improve the base conditions and to provide a low permeable pond base, effectively increasing the clay liner thickness by 300 mm.

The basin sidewalls in the cut areas (up to the maximum operation water level) should also be over-excavated a sufficient amount to allow the construction of a compacted clay liner with the exposed subgrade scarified, moisture conditioned, and compacted as noted above.

Monitoring of excavated soils within the pond footprint is recommended so that unsuitable materials, such as low plastic silts or cohesionless sands if encountered, are wasted or incorporated only in general landscape areas (above the maximum operation water level), where low permeability is not a requirement.

The composition and consistencies of the soils encountered on site are such that conventional hydraulic excavators should be able to remove these materials. Cobbles and boulders may be present within the clay till matrix, albeit infrequently. General recommendations regarding backfill materials and compaction, as well as construction excavations are given in Appendix C

5.4.3.2 Remoulded Clay Liner

The following recommendations for the design and construction of remoulded clay liners are based on compliance with Alberta Environment's publication, "*Stormwater Management Guidelines for the Province of Alberta*", dated March 2013.

The plan dimensions of the excavation should exceed the final "toe-to-toe" interior basin dimensions to provide an overlap between the pond floor liner and berm or sideslope liner. The subgrade should be relatively level and proof-rolled to provide a good base for compacting the first liner lift to the specified density. Soft pockets that would prevent sufficient compaction of the liner must be over-excavated and replaced with compacted cohesive clay fill materials.

Careful site observation and testing will be required to avoid incorporating low or non-plastic materials into the liner. It is recommended that materials with a Liquid Limit of less than 30 not be incorporated into the liner; however, low plastic clays, silt, or sands not meeting liner requirements, may be used in the top area of the embankment above the maximum operation water level or outside the liner zone for berms.

Soil moisture contents for the clay till are generally variable with respect to the OMC for the composite clay till material. Moisture conditioning will be required during liner construction for the pond. Appropriate methods of moisture conditioning should be reviewed with qualified construction personnel prior to final design of the liner system.

Subsequent to the preparation of the pond floor (to 0.3 m depth), the excavated clay soils (liner borrow material) should be moisture conditioned to between OMC and +2% over the OMC. Each lift should then be compacted to a minimum of 98% of SPD in lifts of maximum 150 mm compacted thickness to a total placed liner thickness of 0.6 m for the base, as recommended above.

A maximum "clod" size of 100 mm during moisture conditioning (prior to compaction) will produce a relatively uniform moisture content throughout the soil matrix and a relatively homogenous compacted soil structure. The size of the "clods" can be controlled with agricultural equipment such as a disk. As far as practical, the liner should be built up in a uniform fashion over the containment basin area, in order to avoid sections of "battered fill" where seepage paths may develop. Compaction should be carried out utilizing "kneading" type compaction equipment such as vibratory padfoot or sheepfoot type compactors. Completed liner areas should have the surface smoothed by a vibratory smooth drum roller.

All general engineered fill placement in excavation cuts (or abutted to natural slopes following topsoil removal) must be 'notched' into the native slope materials a minimum of 0.5 m to ensure a bond with the native materials to reduce seepage.

6.0 SLOPE STABILITY ASSESSMENT AND DEVELOPMENT GUIDELINES

6.1 Site Description

As described in Section 4.1 the proposed residential development footprint, adjacent to slopes of a tributary coulee of the Oldman River, is generally orientated east-west (in the area of the proposed development).

The proposed subdivision is on the flat prairie land with elevations varying from approximately Elevation 897.5 m to Elevation 899.7 m. The coulee bottom adjacent to the development area varies from approximate Elevation 885 m from the west edge to 882 on the east edge of the development area with elevation differences ranging between 12.5 m and 15.5 m. Figures 3, 4, and 5 depict the general topography of the coulee, based on the survey information provided by Stantec.

6.2 Site Reconnaissance

Tetra Tech personnel conducted a detailed site reconnaissance for the site. The reconnaissance included reviewing the existing condition of the slopes and a visual assessment of the slopes and areas at both the crest and toe of the slopes. The following pertinent points were noted:

- Groundwater seepage was not visible along the slopes; however, areas of lush vegetation were present along the slopes which may be an indication of high moisture condition of the slope soils (Photos 3 and 4). Two culverts were visible within the tributary coulee; one was present upstream of the tributary coulee (Photo 5), while another culvert was visible north of the site at the toe of the site slope surrounded by rip-rap (Photo 6).

Due to water meandering through the tributary coulee from the culverts, a drainage channel had formed along the toe of the slopes (Photo 7).

- Historical slope instability was evident along the upper portion of the slope face directly north of the site in the form of slumping (Photos 4 and 8).
- The entire slope north of the site was well vegetated by grass and shrubs, with trees located nearer to the toe of the slope (Photos 3, 4, 6, and 7).

6.3 Slope Stability Analysis

6.3.1 General

Tetra Tech conducted a slope stability analysis using modelling software, Slope/W by GeoStudio (2012). Slope geometry was based on elevation contours which were provided by Stantec. Based on the elevation contour data, three (3) representative slope cross-sections (A-A', B-B', and C-C') were generated and reviewed (Figure 3).

The minimum safe development setback distance was determined based on a minimum Factor of Safety (FOS) against slope instability of 1.5. This FOS is considered to be the current engineering standard for this type of development.

6.3.2 Soil Strength Parameters

Assumed soil strength parameters used in the analysis were based on the test results and Tetra Tech's local experience on similar soils in this area. Groundwater parameters were selected by Tetra Tech to represent post-development conditions assuming an increase in soil moisture caused by the development (lawn irrigation, limited leakage from dry pond installed with clay liner, etc.) and reduced evapotranspiration due to development cover (streets, sidewalks, residential dwellings, etc.).

The soil strength and groundwater parameters selected for the analyses, modelling the worst-case conditions (post-development), were as follows:

Material: Clay (CH)

- Unit Weight: 18.5 kN/m³
- Cohesive Intercept c': 0 kPa
- Friction Angle: 24°/12° (peak/residual)
- Pore Water Pressure Parameter r_u: 0.2

Material: Clay and Clay Till (CL-CI)

- Unit Weight: 19 kN/m³
- Cohesive Intercept c': 0 kPa
- Friction Angle: 28°
- Pore Water Pressure Parameter r_u: 0.2

6.3.3 Long-Term Stability

The present stability of the slopes adjacent to the proposed development area has been reviewed based on the site reconnaissance, analyses using Limit Equilibrium Modelling (Slope/W by GeoStudio), and past experience with other slope stability assessments of the Oldman River Valley and coulee slopes in this area. Visual observations of the slopes in the project area indicate that the slopes are generally in stable conditions.

A parametric study was conducted on the slope sections to model the observed slope conditions by varying pore water pressure coefficients and the soil parameters. The parametric study included the used of residual friction angles in the upper high plastic clay and the high plastic clay within the upper zone of the clay till.

Based on the stability analyses and findings during the site reconnaissance, three potential failure mechanisms are identified for long-term considerations under assumed post-construction conditions, as follows:

- Surficial slope failure due to the loss of suction of slope soils during precipitate events.
- Shallow rotational failure or transitional failure along the upper high plastic clay layer.
- Medium depth combined rotational failure or transitional failure along the high plastic clay layer within the clay till deposit.

6.3.4 Impact of Development

Site development generally results in an increase in soil moisture due to irrigation, reduced evapotranspiration due to increased soil cover and reduced vegetation, septic field systems, and other buried utilities, etc. The anticipated increase in soil moisture has been incorporated into the stability model.

Development of the site will bring about changes in the factors which contribute to the present stability of the slopes. Evaporation of soil moisture will be reduced by the presence of ground cover (from structures, roadways, parking areas, etc.). Irrigation and possible leakage of water from underground utilities and the dry pond will increase the amount of water infiltrating the site subsoils. This combination of reduced evaporation of subsoil moisture and increased infiltration of water to the subsoils is considered to be the most significant influence of development on the factors that contribute to the future stability of the slopes. Increasing soil moisture content produces a reduction in the apparent cohesion and effective stress of the slope soils, resulting in a decrease of soils resistant strength against slope failures. For post-development analysis, the pore water pressure ru were selected to model anticipated increase in soil moisture. The results of the analysis, using the revised parameters and attaining FOS of 1.5, established the development setback requirements as presented in Section 6.4 and Figure 3.

6.4 Development Setback Requirements

Based on the results of the slope stability analyses, as well as local experience and the information discussed herein, Tetra Tech has determined the minimum development setback distance which is a minimum 16 m from the Top of Bank¹ and presented on Figure 3. The development setback distances have been determined by establishing a point within the subject site which results in a minimum FOS of 1.5 against slope instability impacting the development.

¹ Top-of-Bank: means the line where the general trend of the slope changes from greater than 15% to less than 15% and remains at less than 15%, as determined by field survey.

6.5 Development Guidelines

Precautionary measures, which should be included in the geotechnical aspects of the design of the proposed development, are outlined as follows:

- Any fill excavated from basements should be disposed of well away from the slope, and well behind the development setback line.
- Positive grading should be provided to ensure drainage off of the upper part of the property (i.e., at Top-of-Bank) is directed as sheet flow over the crest of the slopes (i.e., avoiding concentrating the flow which causes erosion).
- All utilities and plumbing should be carefully installed and regularly inspected to ensure they are in good working order.
- Normal, prudent design and construction procedures should be followed during development of the residences, including consideration of stormwater management. Stormwater retention facilities should be kept well away from the development setback line with clay liner to be installed, unless the recommendations contained in this report are strictly followed.
- The zone between the development setback line and Top-of-Bank should be treated as a restricted development zone. This involves the following:
 - Maintain vegetation cover.
 - No irrigation or discharge of water for any reason.
 - Earthworks is not allowed without review by a geotechnical engineer.
 - No dumping of grass cuttings, branches, or other materials of any kind.

Notwithstanding the recommendations discussed above, some surficial sloughing and slope movement may occur. The purpose of the development setback is not to prevent slope failure, but rather, to protect the development from being affected by the failure when it occurs.

7.0 DESIGN AND CONSTRUCTION GUIDELINES

Recommended general design and construction guidelines are provided in Appendix C, under the following headings:

- Shallow Foundations
- Construction Excavations
- Backfill Materials and Compaction
- Floor Slabs-on-Grade

These guidelines are intended to present standards of good practice. Although supplemental to the main text of this report, they should be interpreted as part of the report. Design recommendations presented herein are based on the premise that these guidelines will be followed. The design and construction guidelines are not intended to represent detailed specifications for the works although they may prove useful in the preparation of such specifications. In the event of any discrepancy between the main text of this report and Appendix C, the main text should govern.

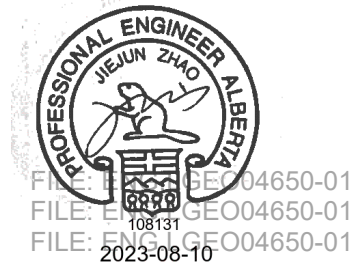
8.0 CLOSURE

We trust this report meets your present requirements. If you have any questions or comments, please contact the undersigned.

Respectfully submitted,
Tetra Tech Canada Inc.



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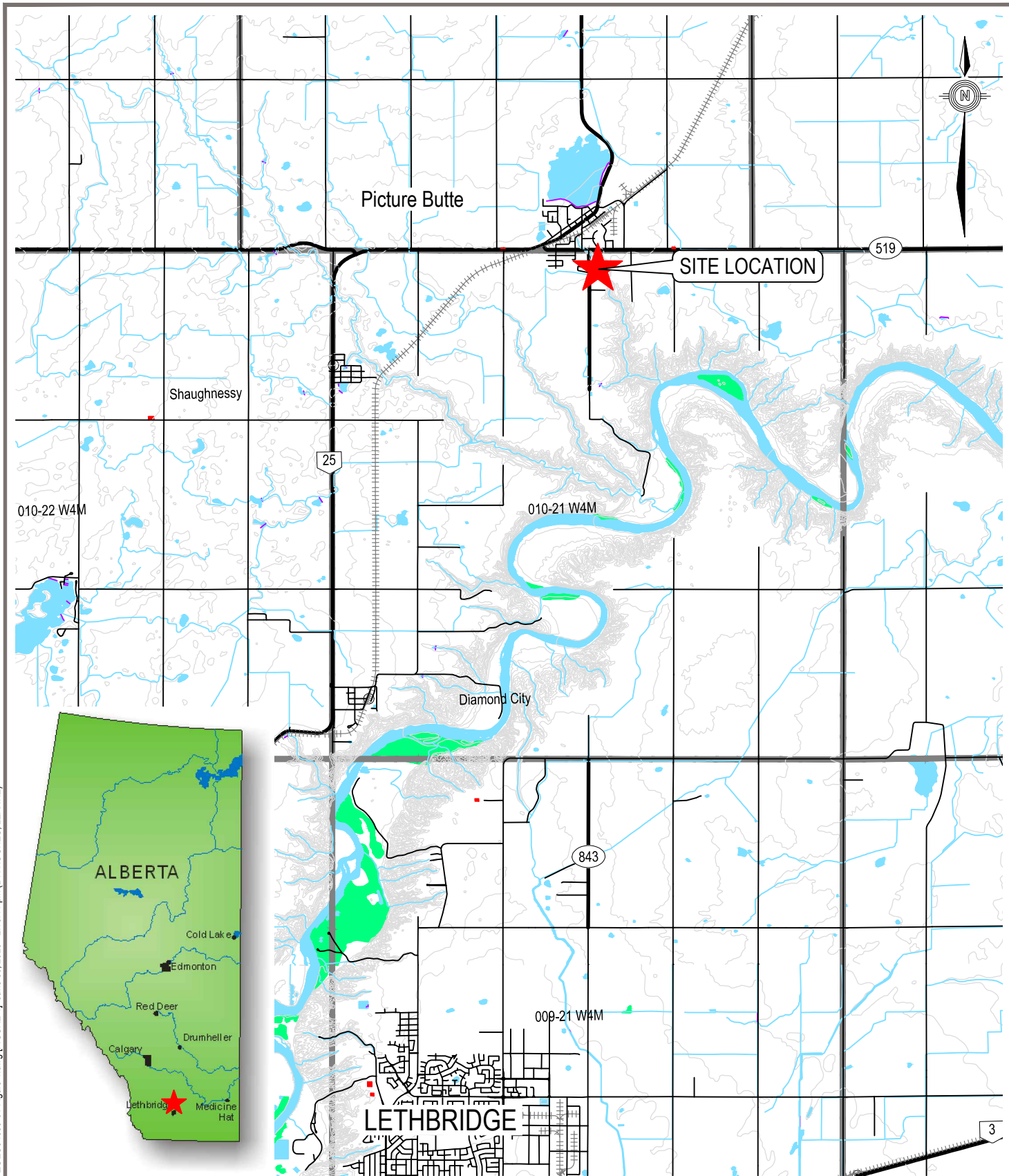
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<p align="center">PERMIT TO PRACTICE TETRA TECH CANADA INC.</p> <p>RM SIGNATURE: _____</p> <p>RM APEGA ID #: _____</p> <p>DATE: _____</p> <p>PERMIT NUMBER: P013774</p> <p>The Association of Professional Engineers and Geoscientists of Alberta (APEGA)</p>

FIGURES

Figure 1	Site Plan
Figure 2	Borehole Location Plan
Figure 3	Site Plan Showing Site Survey
Figure 4	Section A and B
Figure 5	Section C
Figure 5	Development Setback Limits



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NOTES

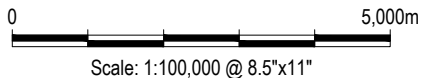
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**PICTURE BUTTE
OAK POINTE DEVELOPMENT**

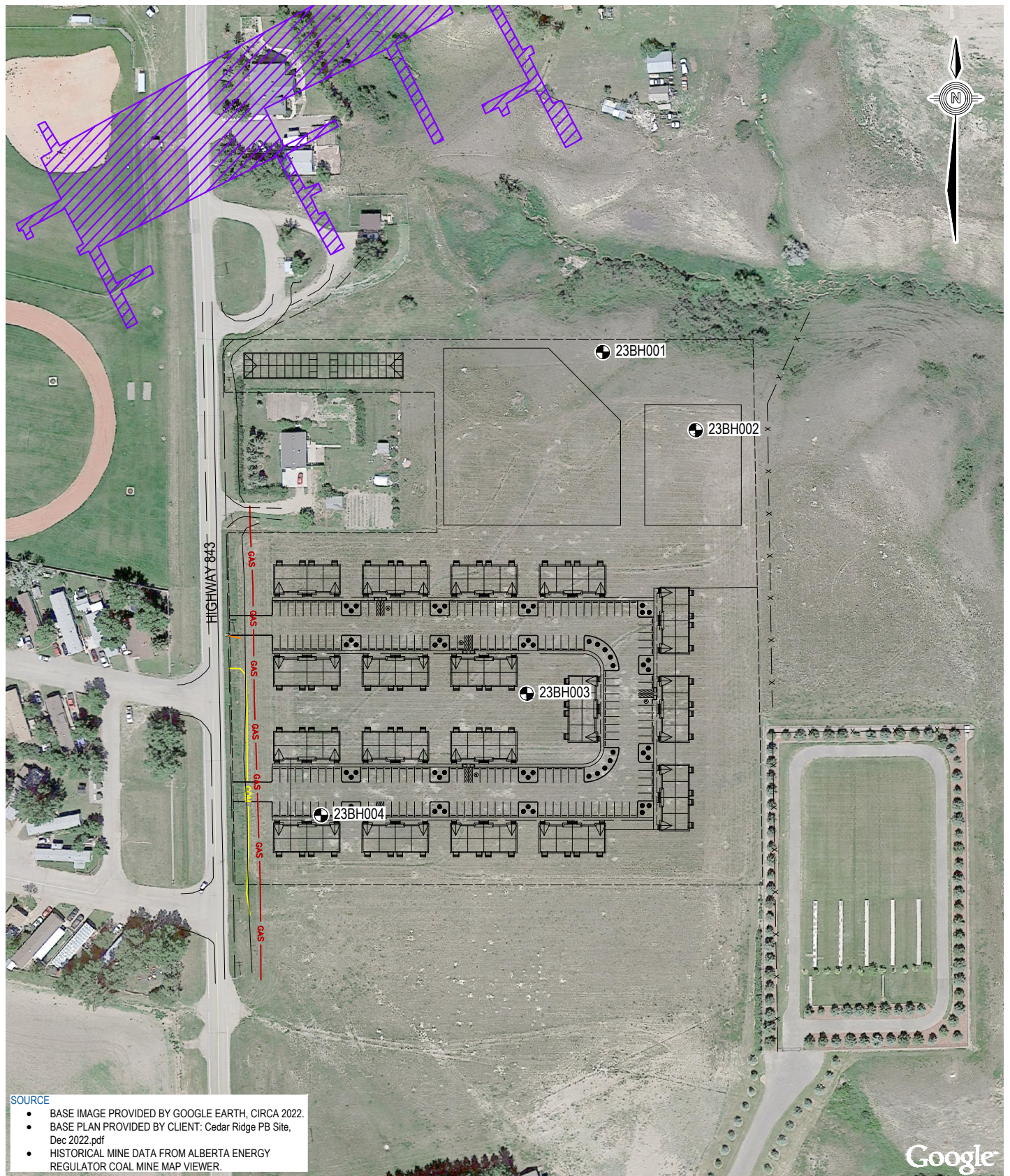
SITE LOCATION PLAN



PROJECT NO. ENG.LGEO04650-01	DWN LCH	CKD JM	REV 0
OFFICE Tt Leth	DATE June 2023		

Figure 1

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SOURCE

- BASE IMAGE PROVIDED BY GOOGLE EARTH, CIRCA 2022.
- BASE PLAN PROVIDED BY CLIENT: Cedar Ridge PB Site, Dec 2022.pdf
- HISTORICAL MINE DATA FROM ALBERTA ENERGY REGULATOR COAL MINE MAP VIEWER.

LEGEND

- BOREHOLE LOCATION
- ▨ HISTORICAL MINE LOCATION

Scale: 1:2,000 @ 8.5"x11"

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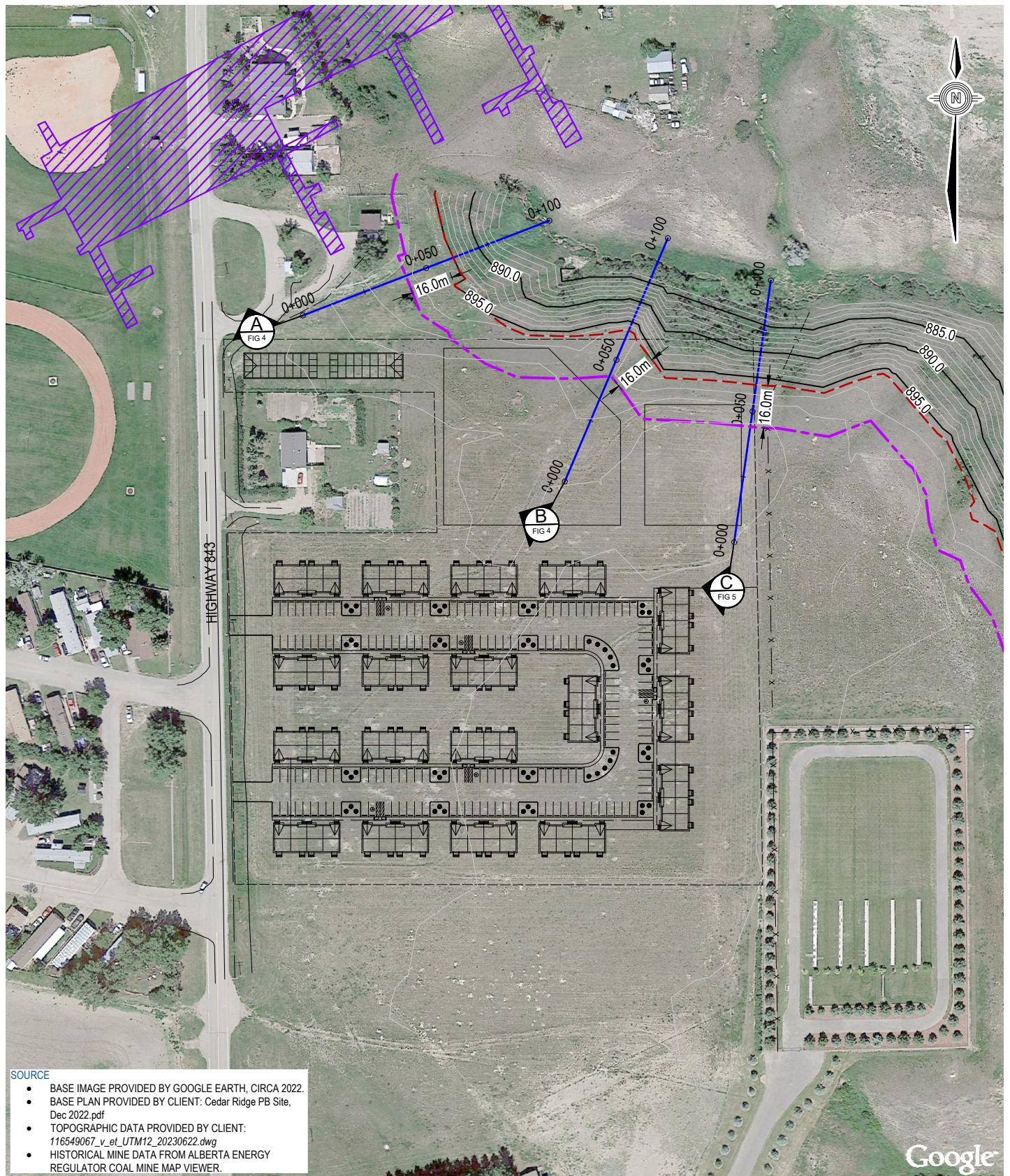
**PICTURE BUTTE
OAK POINTE DEVELOPMENT**

BOREHOLE LOCATION PLAN

PROJECT NO. ENG.LGEO04650-01	DWN LCH	CKD JM	REV 0
OFFICE Tt Leth	DATE July 2023		

Figure 2

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 - TOPOGRAPHIC DATA PROVIDED BY CLIENT: 116549067_v_et_UTM12_20230622.dwg
 - HISTORICAL MINE DATA FROM ALBERTA ENERGY REGULATOR COAL MINE MAP VIEWER.

LEGEND

- 1.0 m CONTOUR
- CROSS SECTION LOCATION
- DEVELOPMENT SETBACK LINE
- TOP OF BANK
- HISTORICAL MINE LOCATION

0 100m

Scale: 1:2,000 @ 8.5"x11"

CLIENT

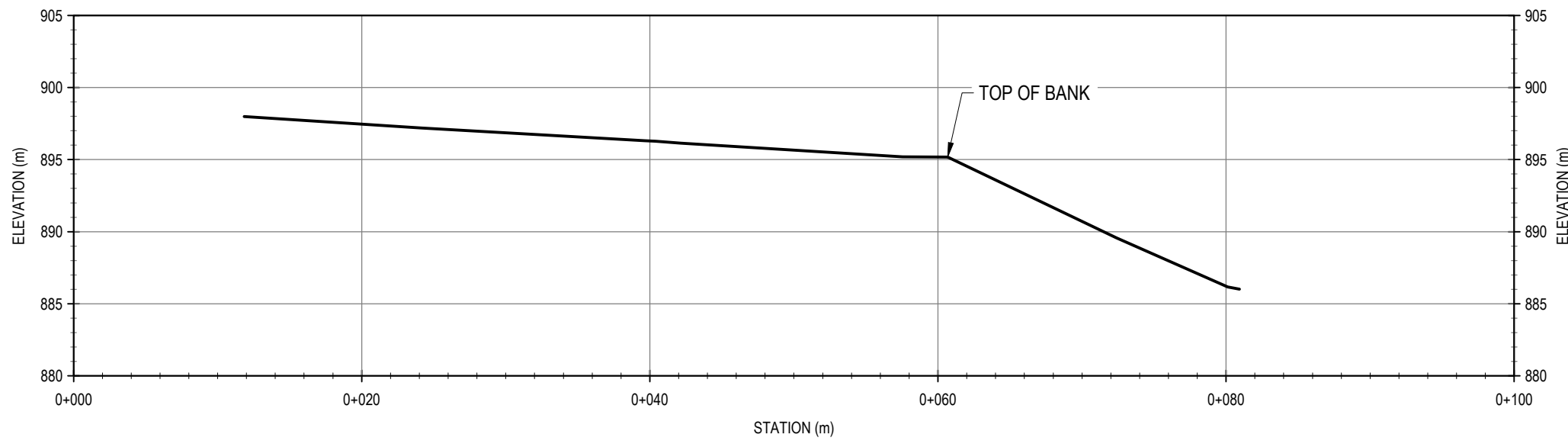
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PICTURE BUTTE OAK POINTE DEVELOPMENT

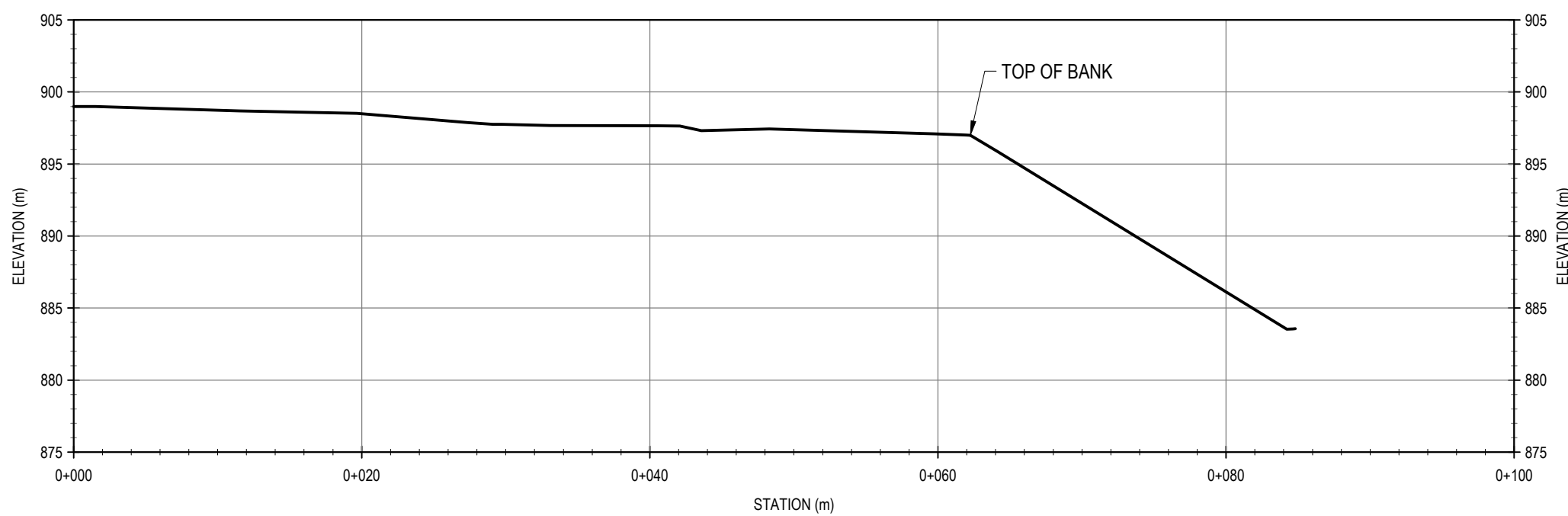
SITE PLAN SHOWING SITE SURVEY

PROJECT NO. ENG.LGEO04650-01	DWN LCH	CKD JM	REV 0
OFFICE Tt Leth	DATE June 2023		

Figure 3

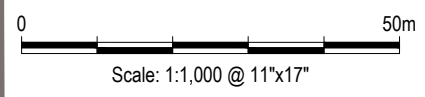


Section A



Section B

LEGEND
 EXISTING GRADE PROFILE



SOURCE
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NOTE
 • DIMENSIONS AND ELEVATIONS ARE IN METRES, UNLESS NOTED OTHERWISE.

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**PICTURE BUTTE
 OAK POINTE DEVELOPMENT**

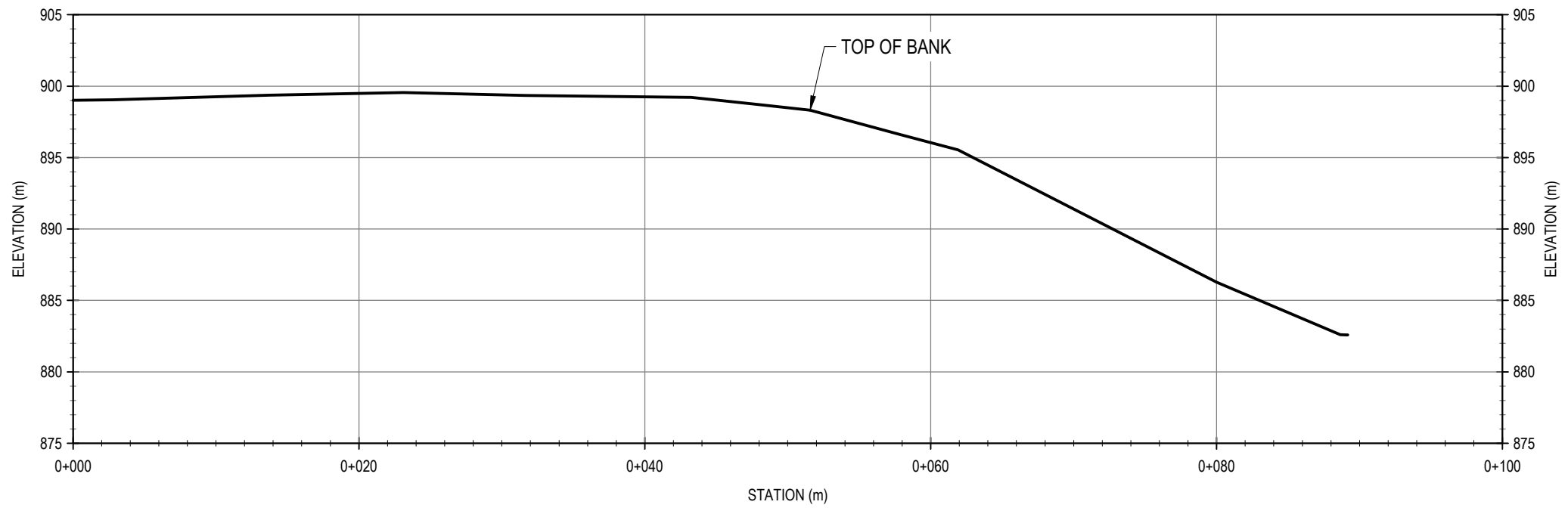
CROSS SECTIONS A AND B

PROJECT NO. ENG.LGE004650-01	DWN LCH	CKD JM	REV 0
OFFICE Tt Leth	DATE July 2023		

Figure 4

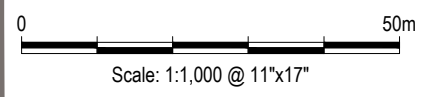
C:\lethbridge\Drafting\ENG.LGE004650\CAD\LGE004650-01 Figure 2,3,4,5,6.dwg [FIGURE 4] July 24, 2023 - 11:38:50 am (BY: HUGHES, LEANNE)

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Section C

LEGEND
 EXISTING GRADE PROFILE



SOURCE

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NOTE

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**PICTURE BUTTE
 OAK POINTE DEVELOPMENT**

CROSS SECTION C

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Figure 5

PHOTOGRAPHS

Photo 1	Northwest End of the Site – Facing East.
Photo 2	Northeast End of the Site – Facing Northwest.
Photo 3	Across Tributary Coulee – Facing South at Site Slope.
Photo 4	Across Tributary Coulee – Facing Southwest at Site Slope.
Photo 5	Culvert Upstream of the Tributary Coulee.
Photo 6	Culvert Along Site Slope.
Photo 7	Channel Visible at the Toe of the Site Slope – Facing South Across the Tributary Coulee.
Photo 8	Historical Instability on Slope North of Site – Facing East.



Photo 1: Northwest End of the Site – Facing East.



Photo 2: Northeast End of the Site – Facing Northwest.



Photo 3: Across Tributary Coulee – Facing South Toward the Site Slope.



Photo 4: Across Tributary Coulee – Facing Southwest Toward the Site Slope.



Photo 5: Culvert Upstream of the Tributary Coulee.



Photo 6: Culvert Along Site Slope.



Photo 7: Channel Visible at the Toe of the Site Slope – Facing South Across the Tributary Coulee.



Photo 8: Historical Instability on Slope North of Site – Facing East.

APPENDIX A

LIMITATIONS ON USE OF THIS DOCUMENT

LIMITATIONS ON USE OF THIS DOCUMENT

GEOTECHNICAL

1.1 USE OF DOCUMENT AND OWNERSHIP

This document pertains to a specific site, a specific development, and a specific scope of work. The document may include plans, drawings, profiles and other supporting documents that collectively constitute the document (the "Professional Document").

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Where TETRA TECH submits electronic file and/or hard copy versions of the Professional Document or any drawings or other project-related documents and deliverables (collectively termed TETRA TECH's "Instruments of Professional Service"), only the signed and/or sealed versions shall be considered final. The original signed and/or sealed electronic file and/or hard copy version archived by TETRA TECH shall be deemed to be the original. TETRA TECH will archive a protected digital copy of the original signed and/or sealed version for a period of 10 years.

Both electronic file and/or hard copy versions of TETRA TECH's Instruments of Professional Service shall not, under any circumstances, be altered by any party except TETRA TECH. TETRA TECH's Instruments of Professional Service will be used only and exactly as submitted by TETRA TECH.

Electronic files submitted by TETRA TECH have been prepared and submitted using specific software and hardware systems. TETRA TECH makes no representation about the compatibility of these files with the Client's current or future software and hardware systems.

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Services performed by TETRA TECH for the Professional Document have been conducted in accordance with the Contract, in a manner consistent with the level of skill ordinarily exercised by members of the profession currently practicing under similar conditions in the jurisdiction in which the services are provided. Professional judgment has been applied in developing the conclusions and/or recommendations provided in this Professional Document. No warranty or guarantee, express or implied, is made concerning the test results, comments, recommendations, or any other portion of the Professional Document.

If any error or omission is detected by the Client or an Authorized Party, the error or omission must be immediately brought to the attention of TETRA TECH.

1.4 DISCLOSURE OF INFORMATION BY CLIENT

The Client acknowledges that it has fully cooperated with TETRA TECH with respect to the provision of all available information on the past, present, and proposed conditions on the site, including historical information respecting the use of the site. The Client further acknowledges that in order for TETRA TECH to properly provide the services contracted for in the Contract, TETRA TECH has relied upon the Client with respect to both the full disclosure and accuracy of any such information.

1.5 INFORMATION PROVIDED TO TETRA TECH BY OTHERS

During the performance of the work and the preparation of this Professional Document, TETRA TECH may have relied on information provided by third parties other than the Client.

While TETRA TECH endeavours to verify the accuracy of such information, TETRA TECH accepts no responsibility for the accuracy or the reliability of such information even where inaccurate or unreliable information impacts any recommendations, design or other deliverables and causes the Client or an Authorized Party loss or damage.

1.6 GENERAL LIMITATIONS OF DOCUMENT

This Professional Document is based solely on the conditions presented and the data available to TETRA TECH at the time the data were collected in the field or gathered from available databases.

The Client, and any Authorized Party, acknowledges that the Professional Document is based on limited data and that the conclusions, opinions, and recommendations contained in the Professional Document are the result of the application of professional judgment to such limited data.

The Professional Document is not applicable to any other sites, nor should it be relied upon for types of development other than those to which it refers. Any variation from the site conditions present, or variation in assumed conditions which might form the basis of design or recommendations as outlined in this document, at or on the development proposed as of the date of the Professional Document requires a supplementary exploration, investigation, and assessment.

TETRA TECH is neither qualified to, nor is it making, any recommendations with respect to the purchase, sale, investment or development of the property, the decisions on which are the sole responsibility of the Client.

1.7 ENVIRONMENTAL AND REGULATORY ISSUES

Unless stipulated in the report, TETRA TECH has not been retained to explore, address or consider and has not explored, addressed or considered any environmental or regulatory issues associated with development on the subject site.

1.8 NATURE AND EXACTNESS OF SOIL AND ROCK DESCRIPTIONS

Classification and identification of soils and rocks are based upon commonly accepted systems, methods and standards employed in professional geotechnical practice. This report contains descriptions of the systems and methods used. Where deviations from the system or method prevail, they are specifically mentioned.

Classification and identification of geological units are judgmental in nature as to both type and condition. TETRA TECH does not warrant conditions represented herein as exact, but infers accuracy only to the extent that is common in practice.

Where subsurface conditions encountered during development are different from those described in this report, qualified geotechnical personnel should revisit the site and review recommendations in light of the actual conditions encountered.

1.9 LOGS OF TESTHOLES

The testhole logs are a compilation of conditions and classification of soils and rocks as obtained from field observations and laboratory testing of selected samples. Soil and rock zones have been interpreted. Change from one geological zone to the other, indicated on the logs as a distinct line, can be, in fact, transitional. The extent of transition is interpretive. Any circumstance which requires precise definition of soil or rock zone transition elevations may require further investigation and review.

1.10 STRATIGRAPHIC AND GEOLOGICAL INFORMATION

The stratigraphic and geological information indicated on drawings contained in this report are inferred from logs of test holes and/or soil/rock exposures. Stratigraphy is known only at the locations of the test hole or exposure. Actual geology and stratigraphy between test holes and/or exposures may vary from that shown on these drawings. Natural variations in geological conditions are inherent and are a function of the historical environment. TETRA TECH does not represent the conditions illustrated as exact but recognizes that variations will exist. Where knowledge of more precise locations of geological units is necessary, additional exploration and review may be necessary.

1.11 PROTECTION OF EXPOSED GROUND

Excavation and construction operations expose geological materials to climatic elements (freeze/thaw, wet/dry) and/or mechanical disturbance which can cause severe deterioration. Unless otherwise specifically indicated in this report, the walls and floors of excavations must be protected from the elements, particularly moisture, desiccation, frost action and construction traffic.

1.12 SUPPORT OF ADJACENT GROUND AND STRUCTURES

Unless otherwise specifically advised, support of ground and structures adjacent to the anticipated construction and preservation of adjacent ground and structures from the adverse impact of construction activity is required.

1.13 INFLUENCE OF CONSTRUCTION ACTIVITY

Construction activity can impact structural performance of adjacent buildings and other installations. The influence of all anticipated construction activities should be considered by the contractor, owner, architect and prime engineer in consultation with a geotechnical engineer when the final design and construction techniques, and construction sequence are known.

1.14 OBSERVATIONS DURING CONSTRUCTION

Because of the nature of geological deposits, the judgmental nature of geotechnical engineering, and the potential of adverse circumstances arising from construction activity, observations during site preparation, excavation and construction should be carried out by a geotechnical engineer. These observations may then serve as the basis for confirmation and/or alteration of geotechnical recommendations or design guidelines presented herein.

1.15 DRAINAGE SYSTEMS

Unless otherwise specified, it is a condition of this report that effective temporary and permanent drainage systems are required and that they must be considered in relation to project purpose and function. Where temporary or permanent drainage systems are installed within or around a structure, these systems must protect the structure from loss of ground due to mechanisms such as internal erosion and must be designed so as to assure continued satisfactory performance of the drains. Specific design details regarding the geotechnical aspects of such systems (e.g. bedding material, surrounding soil, soil cover, geotextile type) should be reviewed by the geotechnical engineer to confirm the performance of the system is consistent with the conditions used in the geotechnical design.

1.16 DESIGN PARAMETERS

Bearing capacities for Limit States or Allowable Stress Design, strength/stiffness properties and similar geotechnical design parameters quoted in this report relate to a specific soil or rock type and condition. Construction activity and environmental circumstances can materially change the condition of soil or rock. The elevation at which a soil or rock type occurs is variable. It is a requirement of this report that structural elements be founded in and/or upon geological materials of the type and in the condition used in this report. Sufficient observations should be made by qualified geotechnical personnel during construction to assure that the soil and/or rock conditions considered in this report in fact exist at the site.

1.17 SAMPLES

TETRA TECH will retain all soil and rock samples for 30 days after this report is issued. Further storage or transfer of samples can be made at the Client's expense upon written request, otherwise samples will be discarded.

1.18 APPLICABLE CODES, STANDARDS, GUIDELINES & BEST PRACTICE

This document has been prepared based on the applicable codes, standards, guidelines or best practice as identified in the report. Some mandated codes, standards and guidelines (such as ASTM, AASHTO Bridge Design/Construction Codes, Canadian Highway Bridge Design Code, National/Provincial Building Codes) are routinely updated and corrections made. TETRA TECH cannot predict nor be held liable for any such future changes, amendments, errors or omissions in these documents that may have a bearing on the assessment, design or analyses included in this report.

APPENDIX B

BOREHOLE LOGS

TERMS USED ON BOREHOLE LOGS

TERMS DESCRIBING CONSISTENCY OR CONDITION

COARSE GRAINED SOILS (major portion retained on 0.075mm sieve): Includes (1) clean gravels and sands, and (2) silty or clayey gravels and sands. Condition is rated according to relative density, as inferred from laboratory or in situ tests.

DESCRIPTIVE TERM	RELATIVE DENSITY	N (blows per 0.3m)
Very Loose	0 TO 20%	0 to 4
Loose	20 TO 40%	4 to 10
Compact	40 TO 75%	10 to 30
Dense	75 TO 90%	30 to 50
Very Dense	90 TO 100%	greater than 50

The number of blows, N, on a 51mm O.D. split spoon sampler of a 63.5kg weight falling 0.76m, required to drive the sampler a distance of 0.3m from 0.15m to 0.45m.

FINE GRAINED SOILS (major portion passing 0.075mm sieve): Includes (1) inorganic and organic silts and clays, (2) gravelly, sandy, or silty clays, and (3) clayey silts. Consistency is rated according to shearing strength, as estimated from laboratory or in situ tests.

DESCRIPTIVE TERM	UNCONFINED COMPRESSIVE STRENGTH (KPA)
Very Soft	Less than 25
Soft	25 to 50
Firm	50 to 100
Stiff	100 to 200
Very Stiff	200 to 400
Hard	Greater than 400

NOTE: Slickensided and fissured clays may have lower unconfined compressive strengths than shown above, because of planes of weakness or cracks in the soil.

GENERAL DESCRIPTIVE TERMS

Slickensided - having inclined planes of weakness that are slick and glossy in appearance.

Fissured - containing shrinkage cracks, frequently filled with fine sand or silt; usually more or less vertical.

Laminated - composed of thin layers of varying colour and texture.

Interbedded - composed of alternate layers of different soil types.

Calcareous - containing appreciable quantities of calcium carbonate.;

Well graded - having wide range in grain sizes and substantial amounts of intermediate particle sizes.

Poorly graded - predominantly of one grain size, or having a range of sizes with some intermediate size missing.

MODIFIED UNIFIED SOIL CLASSIFICATION

MAJOR DIVISION		GROUP SYMBOL	TYPICAL DESCRIPTION	LABORATORY CLASSIFICATION CRITERIA			
COARSE-GRAINED SOILS More than 50% retained on 75 µm sieve*	GRAVELS 50% or more of coarse fraction retained on 4.75 mm sieve	CLEAN GRAVELS	GW	Well-graded gravels and gravel-sand mixtures, little or no fines	$C_u = D_{60} / D_{10}$ Greater than 4 $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ Between 1 and 3 Not meeting both criteria for GW		
		GRAVELS WITH FINES	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines			
		SANDS More than 50% of coarse fraction passes 4.75 mm sieve	CLEAN SANDS	SW		Well-graded sands and gravelly sands, little or no fines	$C_u = D_{60} / D_{10}$ Greater than 6 $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ Between 1 and 3 Not meeting both criteria for SW
			SANDS WITH FINES	SP		Poorly graded sands and gravelly sands, little or no fines	
	FINE-GRAINED SOILS (by behavior) 50% or more passes 75 µm sieve*	SILTS Liquid limit	<50	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands of slight plasticity	For classification of fine-grained soils and fine fraction of coarse-grained soils. 	
			>50	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts		
		CLAYS Above "A" line on plasticity chart negligible organic content Liquid limit	<30	CL	Inorganic clays of low plasticity, gravelly clays, sandy clays, silty clays, lean clays		
			30-50	CI	Inorganic clays of medium plasticity, silty clays		
			>50	CH	Inorganic clays of high plasticity, fat clays		
		ORGANIC SILTS AND CLAYS Liquid limit	<50	OL	Organic silts and organic silty clays of low plasticity		
>50	OH		Organic clays of medium to high plasticity				
HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils		*Based on the material passing the 75 mm sieve Reference: ASTM Designation D2487, for identification procedure see D2488. USC as modified by PFRA		

SOIL COMPONENTS				OVERSIZE MATERIAL		
FRACTION	SIEVE SIZE		DEFINING RANGES OF PERCENTAGE BY MASS OF MINOR COMPONENTS			
	PASSING	RETAINED	PERCENTAGE	DESCRIPTOR		
GRAVEL	coarse	75 mm	19 mm	>35 %	"and"	Rounded or subrounded COBBLES 75 mm to 300 mm BOULDERS > 300 mm
	fine	19 mm	4.75 mm	21 to 35 %	"y-adjective"	
SAND	coarse	4.75 mm	2.00 mm	10 to 20 %	"some"	Not rounded ROCK FRAGMENTS >75 mm ROCKS > 0.76 cubic metre in volume
	medium	2.00 mm	425 µm	>0 to 10 %	"trace"	
	fine	425 µm	75 µm			
SILT (non plastic) or CLAY (plastic)	75 µm		as above but by behavior			

TT_Modified Unified Soil Classification.cdr

BOREHOLE KEYSHEET

Water Level Measurement



Measured in standpipe,
piezometer or well



Inferred

Sample Types



A-Casing



Core



Disturbed, Bag,
Grab



HQ Core



Jar



Jar and Bag



NQ Core



No Recovery



Split Spoon/SPT



Tube

Backfill Materials



Asphalt



Bentonite



Cement/
Grout



Drill Cuttings



Grout



Gravel



Sand



Slough



Topsoil Backfill

Lithology - Graphical Legend¹



Asphalt



Bedrock



Cobbles/Boulders



Clay



Coal



Concrete



Fill



Gravel



Limestone



Mudstone



Organics



Peat



Sand



Sandstone



Shale



Silt



Siltstone

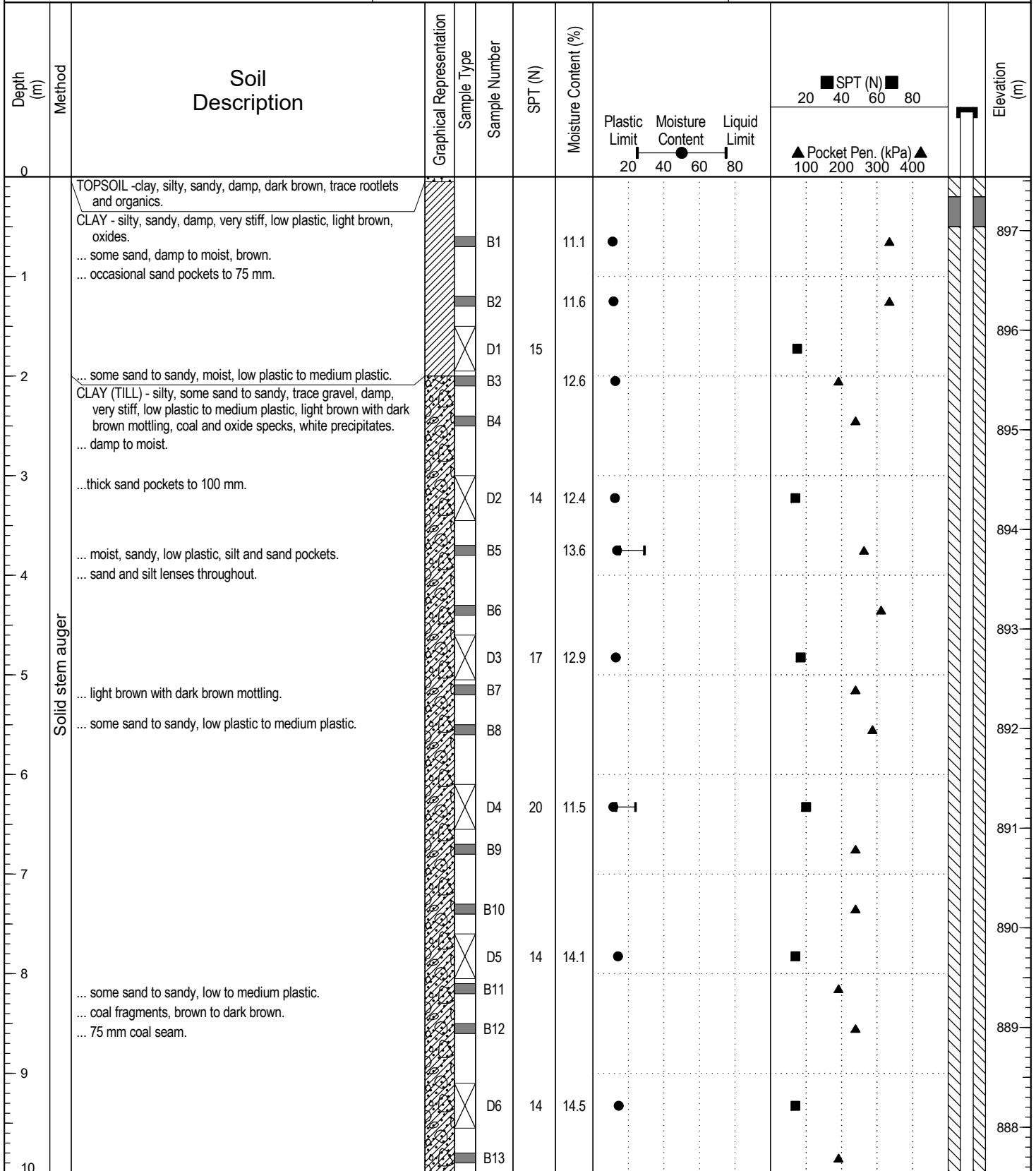


Till



Topsoil

1. The graphical legend is an approximation and for visual representation only. Soil strata may comprise a combination of the basic symbols shown above. Particle sizes are not drawn to scale



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 24.8 m

Equipment Type: 150mm Solid Stem

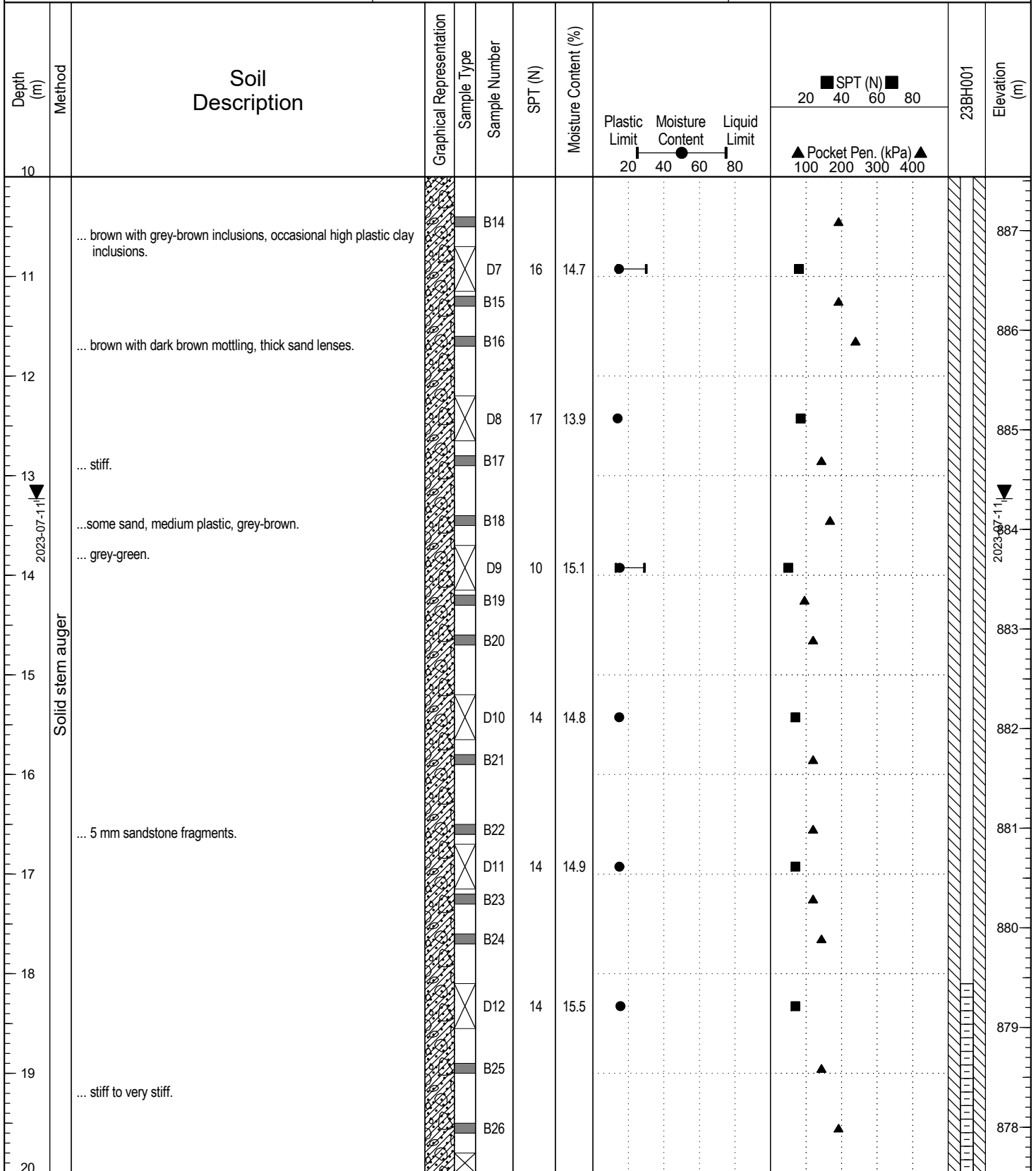
Start Date: June 20, 2023

Logged By: JM

Completion Date: June 20, 2023

Reviewed By: JZ

Page 1 of 3



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 24.8 m

Equipment Type: 150mm Solid Stem

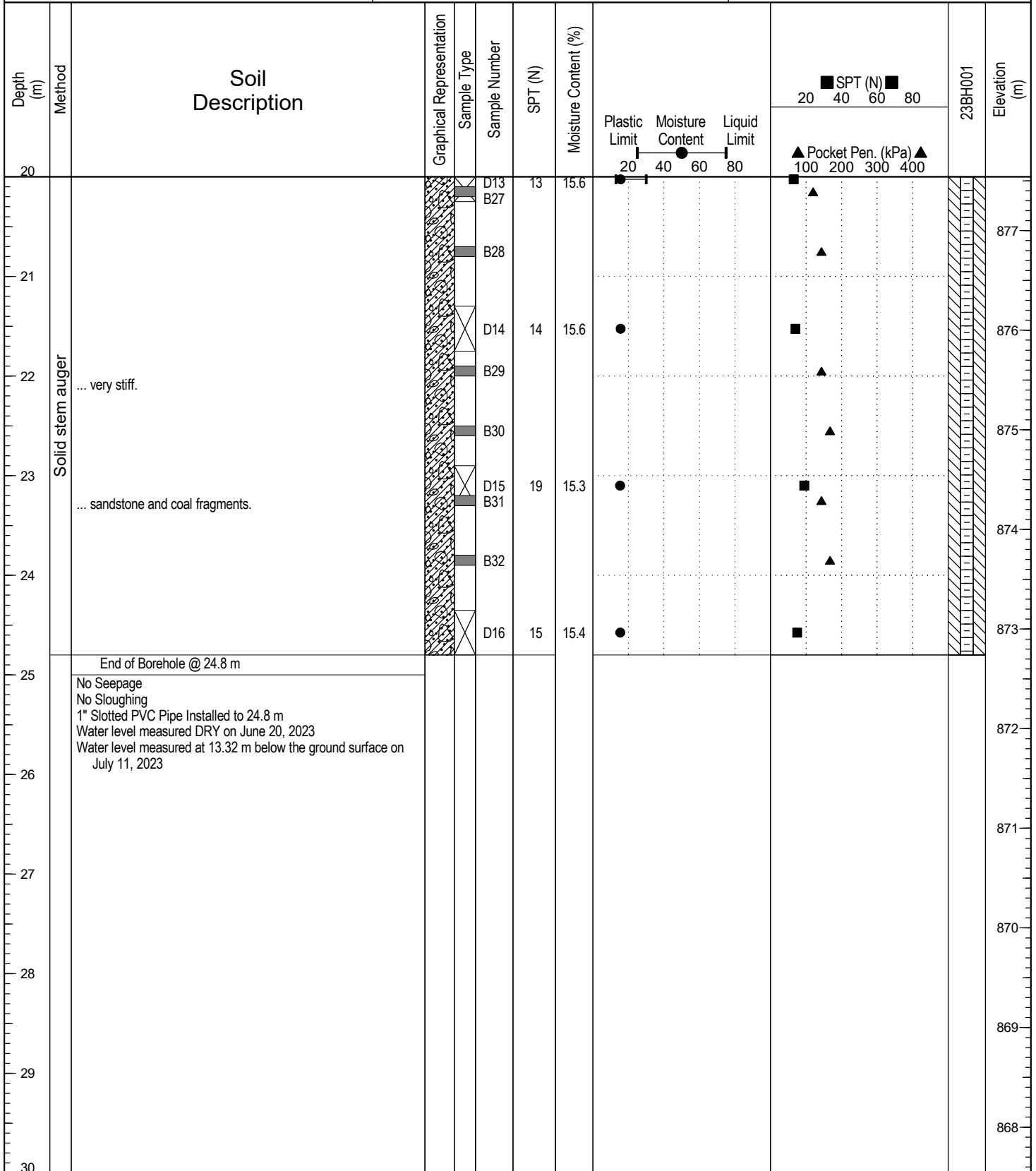
Start Date: June 20, 2023

Logged By: JM

Completion Date: June 20, 2023

Reviewed By: JZ

Page 2 of 3



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 24.8 m

Equipment Type: 150mm Solid Stem

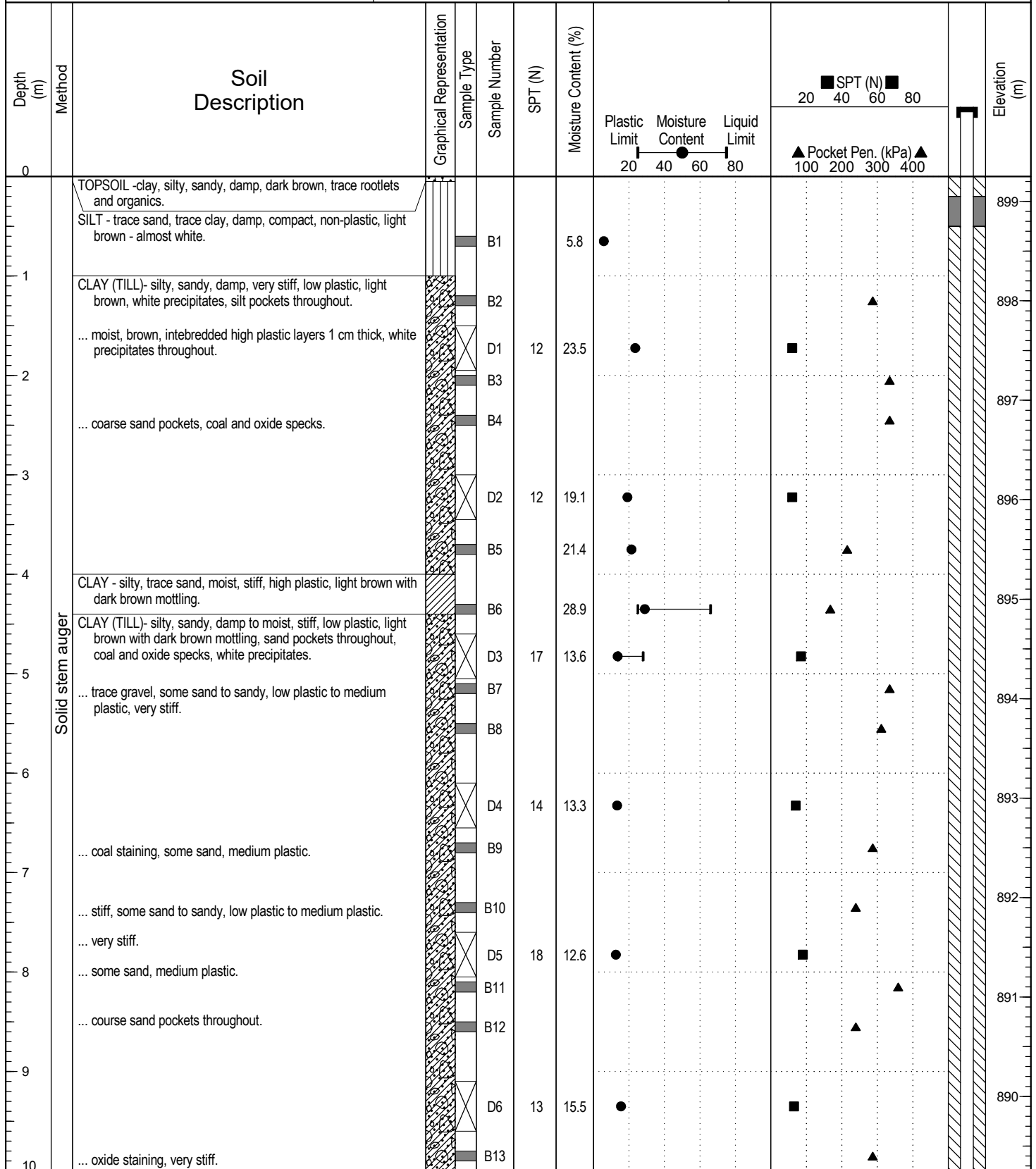
Start Date: June 20, 2023

Logged By: JM

Completion Date: June 20, 2023

Reviewed By: JZ

Page 3 of 3



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 24.8 m

Equipment Type: 150mm Solid Stem

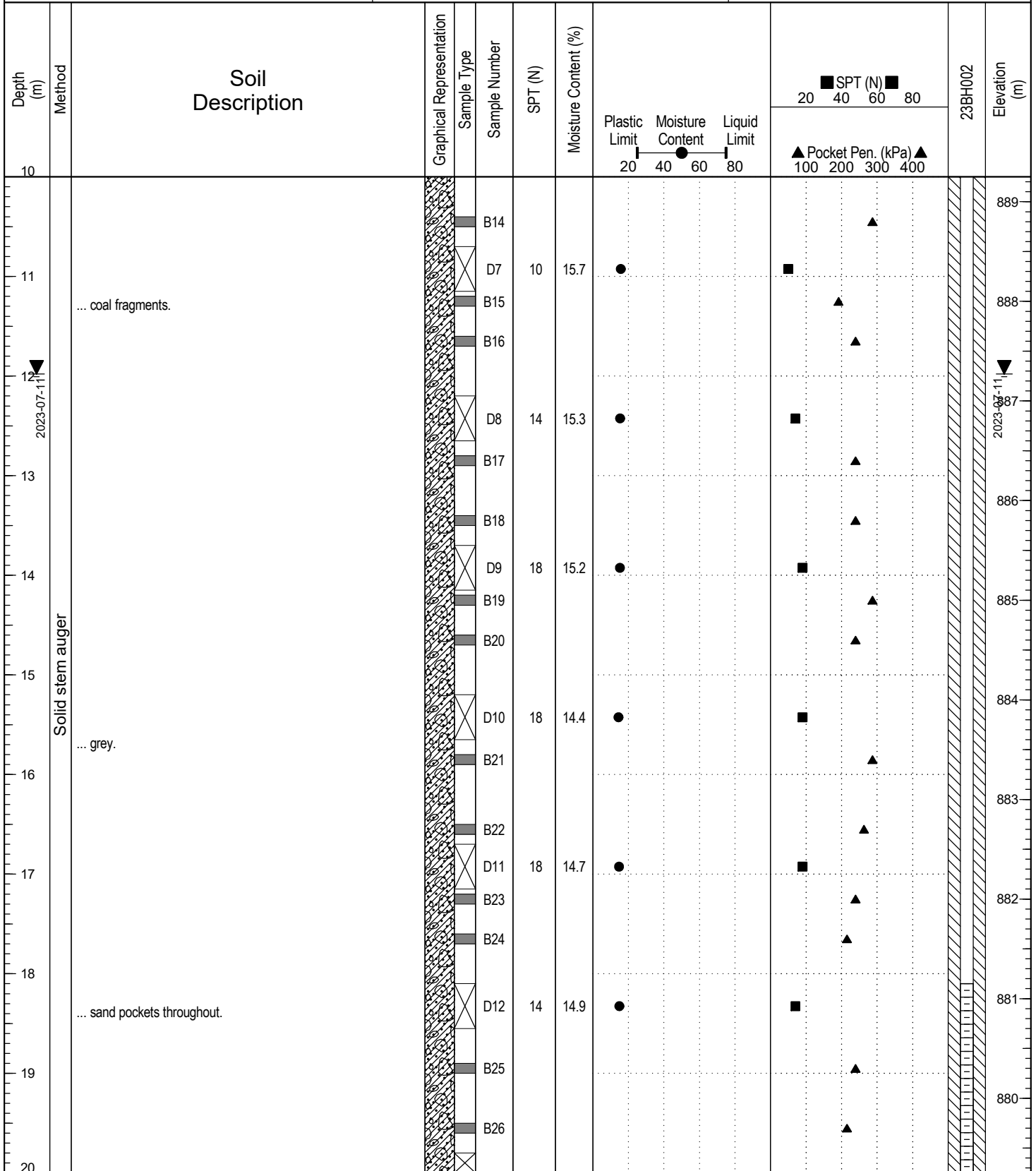
Start Date: June 20, 2023

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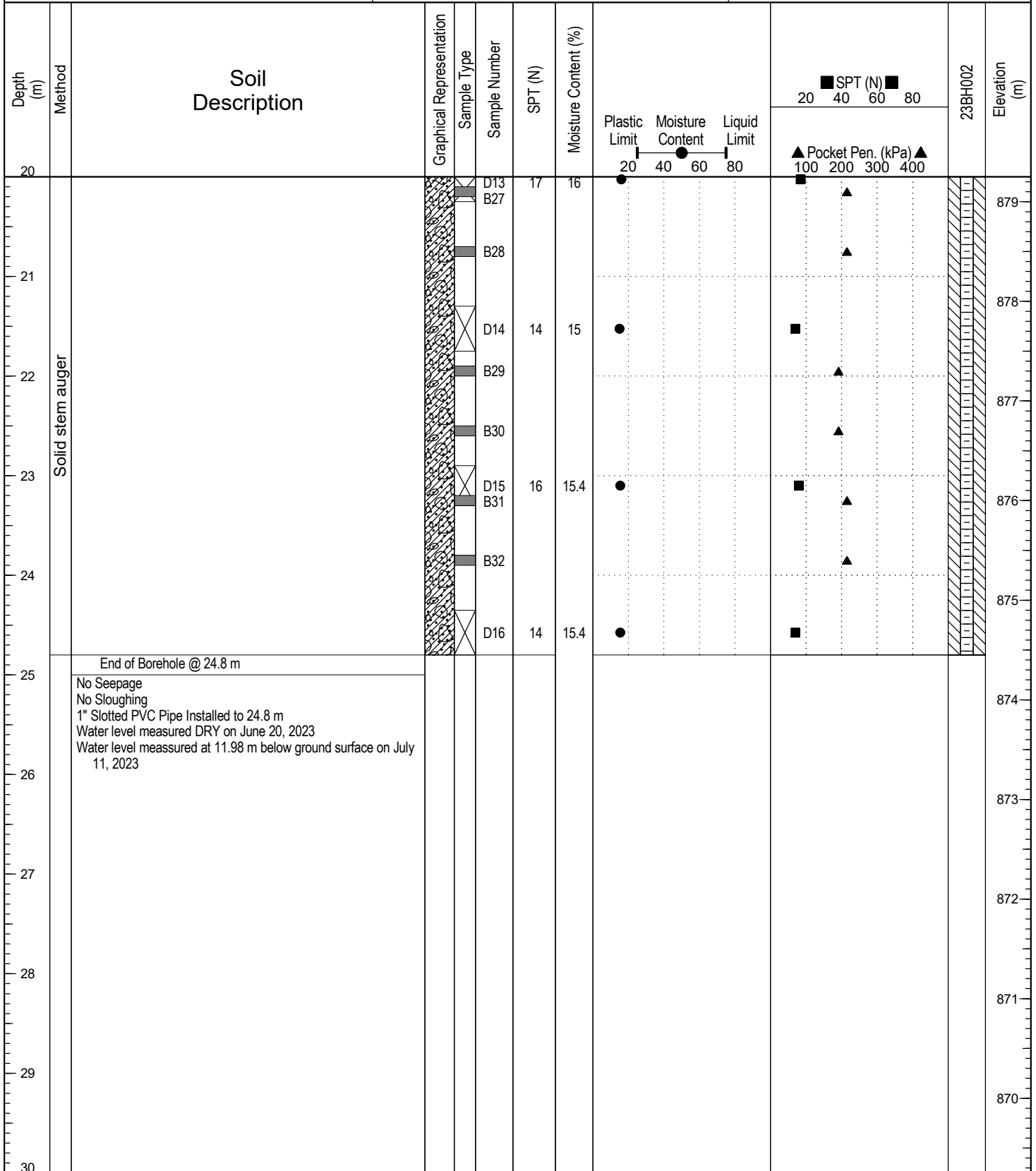
Completion Date: June 20, 2023

Reviewed By: JZ

Page 1 of 3



Contractor: CHILAKO DRILLING LTD.	Completion Depth: 24.8 m
Equipment Type: 150mm Solid Stem	Start Date: June 20, 2023
Logged By: DL	Completion Date: June 20, 2023
Reviewed By: JZ	Page 2 of 3



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 24.8 m

Equipment Type: 150mm Solid Stem

Start Date: June 20, 2023

Logged By: DL

Completion Date: June 20, 2023

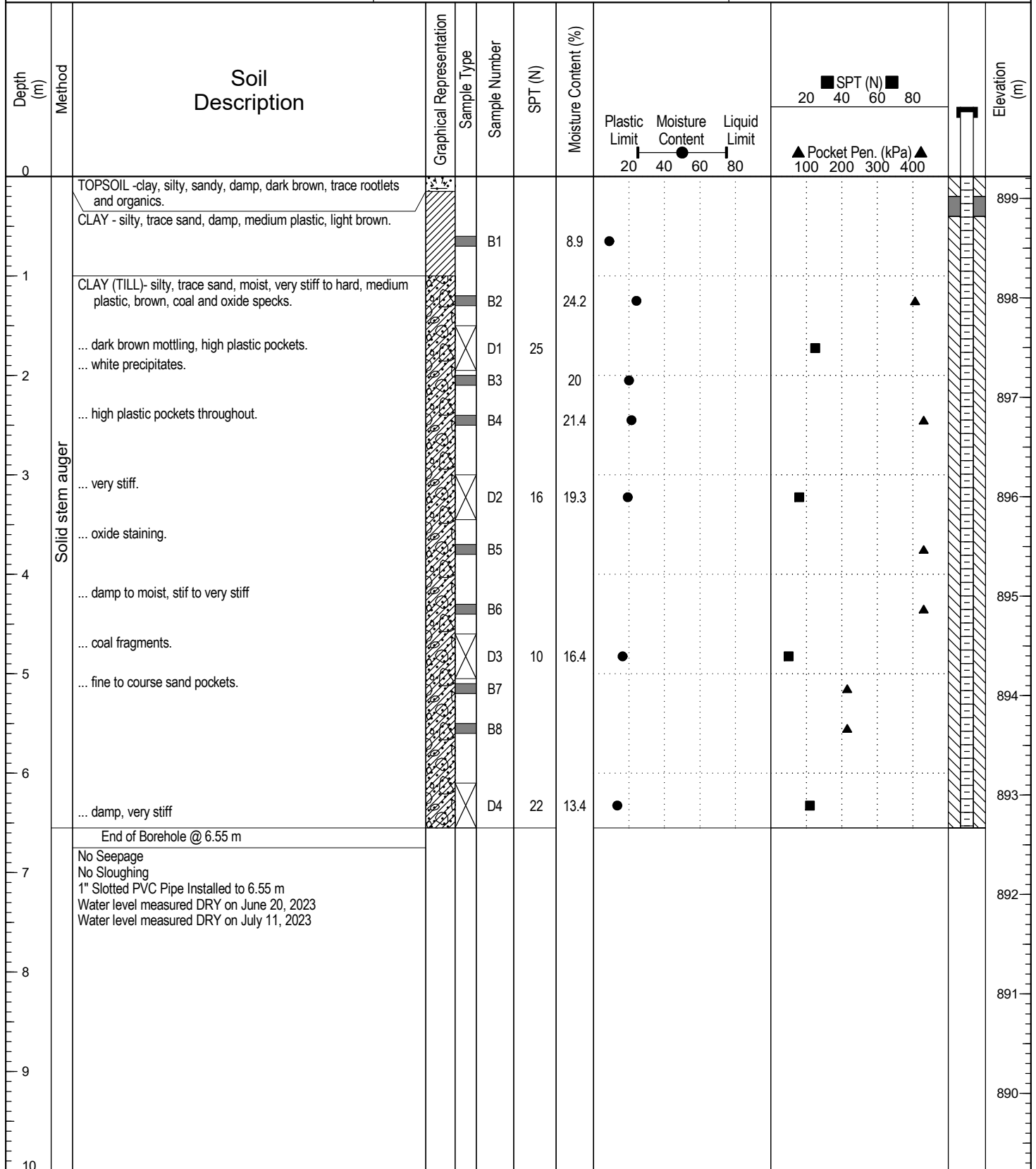
Reviewed By: JZ

Page 3 of 3

Depth (m)	Method	Soil Description	Graphical Representation	Sample Type	Sample Number	SPT (N)	Moisture Content (%)	Plastic Limit	Moisture Content	Liquid Limit	SPT (N)	Pocket Pen. (kPa)	Elevation (m)
0		TOPSOIL -clay, silty, sandy, damp, dark brown, trace rootlets and organics.											899.73
0.5	Solid stem auger	CLAY - silty, some sand, damp, very stiff, medium plastic, light brown, white precipitates, organics.			B1		17.1						899.0
1.0		CLAY (TILL)- silty, some sand, damp, very stiff, medium plastic, light brown with dark brown mottling, white precipitates, coal and oxide specks.			B2		14.3						898.5
1.5		... moist, interbedded dark brown high plastic lenses 0.4 cm thick.			D1	15	20.6						898.0
2.0		... coal fragments.			B3								897.5
2.5		... coal fragments.			B4		19.3						897.0
3.0		... damp to moist, gypsum crystals, interbedded silt lenses.			D2	19	15.2						896.5
3.5					B5								896.0
4.0					B6								895.5
4.5		... brown with light brown mottling.			D3	15	15.4						895.0
5.0		... small light brown silt laminations.			B7								894.5
5.5				B8								894.0	
6.0				D4	13	18						893.5	
6.55		End of Borehole @ 6.55 m											893.0
7.0		No Seepage No Sloughing 1" Slotted PVC Pipe Installed to 6.55 m Water level measured DRY on June 20, 2023 Water level measured DRY on July 11, 2023											892.5
8.0													892.0
9.0													891.5
10.0													891.0



Contractor: CHILAKO DRILLING LTD.	Completion Depth: 6.55 m
Equipment Type: 150mm Solid Stem	Start Date: June 20, 2023
Logged By: DL	Completion Date: June 20, 2023
Reviewed By: JZ	Page 1 of 1



Contractor: CHILAKO DRILLING LTD.

Completion Depth: 6.55 m

Equipment Type: 150mm Solid Stem

Start Date: June 20, 2023

Logged By: DL

Completion Date: June 20, 2023

Reviewed By: JZ

Page 1 of 1

APPENDIX C

DESIGN AND CONSTRUCTION GUIDELINES

CONSTRUCTION GUIDELINES

Revision No: 01 | Last Revised: March 31, 2016

SHALLOW FOUNDATIONS

Design and construction of shallow foundations should comply with relevant Building Code requirements.

The term 'shallow foundations' includes strip and spread footings, mat slab, and raft foundations.

Minimum footing dimensions in plan should be in accordance with the applicable design code of the local jurisdiction.

No loose, disturbed or sloughed material should be allowed to remain in open foundation excavations. Hand cleaning should be undertaken to prepare an acceptable bearing surface.

Foundation excavations and bearing surfaces should be protected from rain, snow, freezing temperatures, excessive drying, and the ingress of free water before, during, and after footing construction.

Footing excavations should be carried down into the designated bearing stratum.

After the bearing surface is approved, a mud slab should be poured to protect the soil against inclement weather and provide a working surface for construction.

All constructed foundations should be placed on unfrozen soils, which should be at all times protected from frost penetration.

All foundation excavations and bearing surfaces should be inspected by a qualified geotechnical engineer to check that the recommendations contained in this report have been followed.

Where over-excavation has been carried out through a weak or unsuitable stratum to reach into a suitable bearing stratum or where a foundation pad is to be placed above stripped natural ground surface such over-excavation may be backfilled to subgrade elevation utilizing either structural fill or lean-mix concrete. These materials are defined below:

- "Structural engineered fill" should comprise clean, well-graded granular soils.
- "Lean-mix concrete" should be low strength concrete having a minimum 28-day compressive strength of 3.5 MPa.

CONSTRUCTION GUIDELINES

Revision No: 00 | Last Revised: October 1, 2014

CONSTRUCTION EXCAVATIONS

Construction should be in accordance with good practice and comply with the requirements of the responsible regulatory agencies.

All excavations greater than 1.5 m deep should be sloped or shored for worker protection.

Shallow excavations up to about 3 m depth may use temporary sideslopes of 1H:1V. A flatter slope of 2H:1V should be used if groundwater is encountered. Localized sloughing can be expected from these slopes.

Deep excavations or trenches may require temporary support if space limitations or economic considerations preclude the use of sloped excavations.

For excavations greater than 3 m depth, temporary support should be designed by a qualified geotechnical engineer. The design and proposed installation and construction procedures should be submitted to Tetra Tech for review.

The construction of a temporary support system should be monitored. Detailed records should be taken of installation methods, materials, in situ conditions and the movement of the system. If anchors are used, they should be load tested. Tetra Tech can provide further information on monitoring and testing procedures if required.

Attention should be paid to structures or buried service lines close to the excavation. For structures, a general guideline is that if a line projected down, at 45 degrees from the horizontal from the base of foundations of adjacent structures intersects the extent of the proposed excavation, these structures may require underpinning or special shoring techniques to avoid damaging earth movements. The need for any underpinning or special shoring techniques and the scope of monitoring required can be determined when details of the service ducts and vaults, foundation configuration of existing buildings and final design excavation levels are known.

No surface surcharges should be placed closer to the edge of the excavation than a distance equal to the depth of the excavation, unless the excavation support system has been designed to accommodate such surcharge.

CONSTRUCTION GUIDELINES

Revision No: 02 | Last Revised: October 2, 2015

BACKFILL MATERIALS AND COMPACTION (GENERAL)

1.0 DEFINITIONS

“Landscape fill” is typically used in areas such as berms and grassed areas where settlement of the fill and noticeable surface subsidence can be tolerated. “Landscape fill” may comprise soils without regard to engineering quality.

“General engineered fill” is typically used in areas where a moderate potential for subgrade movement is tolerable, such as asphalt (i.e., flexible) pavement areas. “General engineered fill” should comprise clean, granular or clay soils.

“Select engineered fill” is typically used below slabs-on-grade or where high volumetric stability is desired, such as within the footprint of a building. “Select engineered fill” should comprise clean, well-graded granular soils or inorganic low to medium plastic clay soils.

“Structural engineered fill” is used for supporting structural loads in conjunction with shallow foundations. “Structural engineered fill” should comprise clean, well-graded granular soils.

“Lean-mix concrete” is typically used to protect a subgrade from weather effects including excessive drying or wetting. “Lean-mix concrete” can also be used to provide a stable working platform over weak subgrades. “Lean-mix concrete” should be low strength concrete having a minimum 28-day compressive strength of 3.5 MPa.

Standard Proctor Density (SPD) as used herein means Standard Proctor Maximum Dry Density (ASTM Test Method D698). Optimum moisture content is defined in ASTM Test Method D698.

2.0 GENERAL BACKFILL AND COMPACTION RECOMMENDATIONS

Exterior backfill adjacent to abutment walls, basement walls, grade beams, pile caps and above footings, and below highway, street, or parking lot pavement sections should comprise “general engineered fill” materials as defined above.

Exterior backfill adjacent to footings, foundation walls, grade beams and pile caps and within 600 mm of final grade should comprise inorganic, cohesive “general engineered fill”. Such backfill should provide a relatively impervious surficial zone to reduce seepage into the subsoil against the structure.

Backfill should not be placed against a foundation structure until the structure has sufficient strength to withstand the earth pressures resulting from placement and compaction. During compaction, careful observation of the foundation wall for deflection should be carried out continuously. Where deflections are apparent, the compactive effort should be reduced accordingly.

In order to reduce potential compaction induced stresses, only hand-held compaction equipment should be used in the compaction of fill within 1 m of retaining walls or basement walls. If compacted fill is to be placed on both sides of the wall, they should be filled together so that the level on either side is within 0.5 m of each other.

All lumps of materials should be broken down during placement. Backfill materials should not be placed in a frozen state, or placed on a frozen subgrade.

Where the maximum-sized particles in any backfill material exceed 50% of the minimum dimension of the cross-section to be backfilled (e.g., lift thickness), such particles should be removed and placed at other more suitable locations on site or screened off prior to delivery to site.

Excavation and construction operations expose materials to climatic elements (freeze/thaw, wet/dry) and/or mechanical disturbance which can cause severe deterioration of performance. Unless otherwise specifically indicated in this report, the walls and floors of excavations, and stockpiles, must be protected from the elements, particularly moisture, desiccation, frost, and construction activities. Should desiccation occur, bonding should be provided between backfill lifts. For fine-grained materials the previous lift should be scarified to the base of the desiccated layer, moisture-conditioned, and recompacted and bonded thoroughly to the succeeding lift. For granular materials, the surface of the previous lift should be scarified to about a 75 mm depth followed by proper moisture-conditioning and recompaction.

3.0 COMPACTION AND MOISTURE CONDITIONING

“Landscape fill” material should be placed in compacted lifts not exceeding 300 mm and compacted to a density of not less than 90% of SPD unless a higher percentage is specified by the jurisdiction.

“General engineered fill” and “select engineered fill” materials should be placed in layers of 150 mm compacted thickness and should be compacted to not less than 98% of SPD. Note that the contract may specify higher compaction levels within 300 mm of the design elevation. Cohesive materials placed as “general engineered fill” or “select engineered fill” should be compacted at 0 to 2% above the optimum moisture content. Note that there are some silty soils which can become quite unstable when compacted above optimum moisture content. Granular materials placed as “general engineered fill” or “select engineered fill” should be compacted at slightly below (0 to 2%) the optimum moisture content.

“Structural engineered fill” material should be placed in compacted lifts not exceeding 150 mm in thickness and compacted to not less than 100% of SPD at slightly below (0 to 2%) the optimum moisture content.

4.0 “GENERAL ENGINEERED FILL”

Cohesive or granular soils are considered acceptable for use as “general engineered fill,” providing the soils are inorganic and free of deleterious materials.

5.0 “SELECT ENGINEERED FILL”

Low to medium plastic clay with the following range of plasticity properties is generally considered suitable for use as “select engineered fill”:

Liquid Limit	= 20 to 40%
Plastic Limit	= 10 to 20%
Plasticity Index	= 10 to 30%

Test results should be considered on a case-by-case basis.

“Pit-run gravel” and “fill sand” are generally considered acceptable for use as “select engineered fill.” See exact project or jurisdiction for specifications.

The “pit-run gravel” should be free of any form of coating and any gravel or sand containing clay, loam or other deleterious materials should be rejected. No material oversize of the specified maximum sieve size should be tolerated. This material would typically have a fines content of less than 10%.

The materials above are also suitable for use as “general engineered fill.”

6.0 “STRUCTURAL ENGINEERED FILL”

Crushed gravel used as “structural engineered fill” should be hard, clean, well graded, crushed aggregate, free of organics, coal, clay lumps, coatings of clay, silt, and other deleterious materials. The aggregates should conform to the requirement when tested in accordance with ASTM C136 and C117. See exact project or jurisdiction for specifications. This material would typically have a fines content of less than 10%.

In addition to the above, further specification criteria identified below should be met:

“Structural Engineered Fill” – Additional Material Properties

Material Type	Percentage of Material Retained on 5 mm Sieve having Two or More Fractured Faces	Plasticity Index (<400 µm)	L.A. Abrasion Loss (percent Mass)
Various sized Crushed Gravels	See exact project or jurisdiction for specifications	See exact project or jurisdiction for specifications	See exact project or jurisdiction for specifications

Materials that meet the grading limits and material property criteria are also suitable for use as “select engineered fill.”

7.0 DRAINAGE MATERIALS

“Coarse gravel” for drainage or weeping tile bedding should be free draining. Free-draining gravel or crushed rock generally containing no more than 5% fine-grained soil (particles passing No. 200 sieve) based on the fraction passing the 3/4-inch sieve or material with sand equivalent of at least 30.

“Coarse sand” for drainage should conform to the following grading limits:

“Coarse Sand” Drainage Material – Percent Passing by Weight

Sieve Size	Coarse Sand*
10 mm	100
5 mm	95 – 100
2.5 mm	80 – 100
1.25 mm	50 – 90
630 µm	25 – 65
315 µm	10 – 35
160 µm	2 – 10
80 µm	0 – 3

* From CSA A23.1-09, Table 10, “Grading Limits for Fine Aggregate”, Class FA1

Note that the “coarse sand” above is also suitable for use as pipe bedding material. See exact project or jurisdiction for specifications.

8.0 BEDDING MATERIALS

The “Coarse Sand” gradation presented above in Section 7.0 is suitable for use as pipe bedding and as backfill within the pipe embedment zone, however see exact project or jurisdiction for specifications.

CONSTRUCTION GUIDELINES

Revision No: 02 | Last Revised: March 31, 2016

FLOOR SLABS-ON-GRADE

All soft, loose or organic material should be removed from beneath slab areas. If any local 'hard spots' such as old basement walls or abandoned pile foundation are revealed beneath the slab area, these should be over-excavated and removed to not less than 0.9 m below underside of slab level. The exposed soil should be proof-rolled and the final grade restored by engineered fill placement. If proof-rolling reveals any soft or loose spots, these should be excavated and the desired grade restored by engineered fill placement. The subgrade should be compacted to a depth of not less than 0.3 m to a density of not less than 98 percent Standard Proctor Maximum Dry Density (ASTM Test Method D698).

If, for economic reasons, it is considered desirable to leave low quality material in-place, such as existing fills, beneath a slab-on-grade, special ground treatment procedures may be considered, Tetra Tech could provide additional advice on this aspect if required.

A levelling course of well graded granular fill (with maximum size of 20 mm), at least 150 mm in compacted thickness, is recommended directly beneath all slabs-on-grade. The type of granular fill should be selected based on the design floor loadings. Alternatively a minimum thickness of 150 mm of 80 mm pit-run gravel overlain by a minimum thickness of 50 mm of 20 mm crushed gravel may be used. Coarse gravel particles larger than 25 mm diameter should be avoided directly beneath the slab-on-grade to limit potential stress concentrations within the slab. All levelling courses directly under floor slabs should be compacted to 100 percent of Standard Proctor Maximum Dry Density (ASTM Test Method D698).

Engineered fill, pit-run gravel and crushed gravel are defined under the heading 'Backfill Materials and Compaction' elsewhere in this Appendix.

The excavated subgrade beneath slabs-on-grade should be protected at all times from rain, snow, freezing temperatures, excessive drying and the ingress of free water. This applies before, during, and after the construction period.

Historical Resources Act Approval

Proponent: Oak Pointe Inc.
Box 174, Diamond City, AB T0K 0T0

Contact: Josh Marti

Agent: Stantec Consulting Ltd.

Contact: Meaghan Porter

Project Name: Picture Butte Residential Area Structure Plan in 13-34-10-21 W4M (revised)

Project Components: Area Structure Plan / Outline Plan
Residential Development
Access Road
Electrical / Utility
Water Supply Line
Sewage Line

Application Purpose: Requesting HRA Approval / Requirements
Amendment or Update to Project Submitted Previously

Historical Resources Act approval is granted for the activities described in this application and its attached plan(s)/sketch(es) subject to Section 31, "a person who discovers an historic resource in the course of making an excavation for a purpose other than for the purpose of seeking historic resources shall forthwith notify the Minister of the discovery." The chance discovery of historical resources is to be reported to the contacts identified within [Standard Requirements under the Historical Resources Act: Reporting the Discovery of Historic Resources](#).



Rebecca Traquair
Regulatory Approvals Coordinator
Alberta Arts, Culture, and Status
of Women

Proposed Development Location:

MER	RGE	TWP	SEC	LSD List
4	21	10	34	13

Documents Attached:

Document Name	Document Type
Updated ASP drawing	Illustrative Material

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**LOTS 1 AND 2, BLOCK 3, PLAN 2311035
PICTURE BUTTE, ALBERTA**



*Serving Albertans for 23 years
2000 - 2023*

PROJECT NO. WA-23-101402

REPORT TO

**OAK POINTE INC. GIDEON ACQUISITIONS LTD.
CLAYTON KOSTER JOINT VENTURE
ALSO KNOWN AS BUTTE LANDING**

**PHASE I
ENVIRONMENTAL SITE ASSESSMENT
LOTS 1 AND 2, BLOCK 3, PLAN 2311035
PICTURE BUTTE, ALBERTA**



**WA Environmental Services Ltd.
221 Riverpark Blvd., West
Lethbridge
Alberta T1K 0P6**

**Tel: (403) 381-8141
Fax: (403) 328-8142
www.waenvironmental.ca**

October 17, 2023

EXECUTIVE SUMMARY

Between October 6 and October 17, 2023, WA Environmental Services Ltd. (WAES) conducted a Phase I Environmental Site Assessment of property located approximately 300 m south of Rogers Avenue South on the east side of Secondary Road 843 in the Town of Picture Butte, Alberta. The legal description for the site is Lot 1 and 2, Block 3, Plan 2311035. It is understood that the assessment is required due to a potential business transaction involving the property, with the intention to develop the site into multi-family four-plex residential units.

A summary of environmental concerns identified at the site is presented in Table 1.

The site remained undeveloped until the mid-1960s when a single family dwelling/acreage was constructed. This remains to the present day and does not form part of this assessment as the owner is elderly and has an arrangement with the purchasers to stay in place until she decides to move into a more convenient location.

A County of Lethbridge potable water truck station occupies the property to the north. The Netherlands Reformed Congregation (church) is located to the south. Adjacent land use to the east is agricultural. The Picture Butte Memorial Cemetery is located to the southeast of the site and the Maple Estate Mobile Home Park and the running track for the Picture Butte High School are located to the west across Secondary Road 843.

No hazardous building materials were observed at the time of the site reconnaissance. However, should there be an intention to demolish the residence located in the northwest corner of the site, a hazardous materials assessment should be carried out, so as not to expose any workers to harmful substances such as asbestos, lead based paint etc.

Information gathered and observations made during the Phase I Environmental Site Assessment have not revealed any evidence of environmental contamination associated with the site.

Based on our findings, no further environmental investigation of the site is recommended at this time.

Table 1 - Summary of Findings and Recommendations

Potential Source of Contamination	Level of Environmental Contamination	Findings	Recommended Action
Adjacent Properties	None	Adjacent land use is a mix of agricultural, residential and institutional.	None.
Historical Land Use	None	The site has been used for agricultural purposes until the mid-1960s when a single family dwelling/acreage was constructed in the northwest corner of the site.	None.
Underground Fuels and Chemicals	None	None observed or reported.	None.
Aboveground Fuels and Chemicals	None	None observed or reported.	None.
Waste Management	None	Presently no waste is generated at the site.	None.
Spill and Stain Areas	None	None observed or reported.	None.
Wastewater Discharges	None	Presently, no wastewater is generated at the site.	None.
Air Discharges	None	No concerns.	None.
Polychlorinated Biphenyls (PCBs)	None	None observed or reported.	None.
Asbestos	None	None observed or reported.	None.
UFFI	None	None observed or reported	None.
Ozone Depleting Substances (ODSs)	None	None observed or reported	None.
Lead	None	None observed or reported.	None.
Electromagnetic Frequencies	None	None observed or reported.	None.
Radon	None	See radon recommendations in report	None.
Hydraulic Hoists/Elevators	None	None observed or reported.	None.



Table 1 - Summary of Findings and Recommendations			
Potential Source of Contamination	Level of Environmental Contamination	Findings	Recommended Action
Mercury	None	None observed or reported.	None.
Mould	None	None observed or reported.	None.
Water Supply	None	The Town of Picture Butte has installed a potable water main to the property.	None.
Fill Areas	None	None observed or reported.	None.

High - Evidence of actual contamination, **Moderate** - Evidence of potential contamination (significant), **Low** - Evidence of potential contamination (minor), **None** - No evidence of contamination

TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	PHASE I SCOPE AND METHODOLOGY	1
2.1	Scope of Work	1
2.2	Methodology	2
2.2.1	Records Review	2
2.2.2	Interviews.....	2
2.2.3	Site Visit.....	2
3.0	REGULATORY FRAMEWORK	2
4.0	SITE DESCRIPTION	3
4.1	Property Description	3
4.2	Soil, Topography and Drainage	3
4.3	On-Site Buildings and Structures.....	4
5.0	ADJACENT PROPERTIES	5
6.0	REVIEW OF HISTORICAL LAND USE AND REGULATORY HISTORY	6
6.1	Historical Land Use	6
6.2	Regulatory History	7
7.0	SITE VISIT FINDINGS AND DISCUSSION.....	8
7.1	Fuel/Chemical Handling and Storage	8
7.2	Waste Management.....	8
7.3	Spill and Stain Areas.....	8
7.4	Wastewater Discharges	9
7.5	Air Discharges	9
7.6	Polychlorinated Biphenyls (PCBs)	9
7.7	Asbestos	9
7.8	Urea Formaldehyde Foam Insulation (UFFI)	9
7.9	Lead.....	9
7.10	Ozone Depleting Substances (ODSs)	10
7.11	Radon	11

7.12	Electromagnetic Frequencies (EMFs).....	11
7.13	Noise and Vibration	11
7.14	Hydraulic Hoist & Elevators.....	11
7.15	Mercury.....	11
7.16	Mould.....	12
7.17	Water Supply.....	12
7.18	Fill Areas.....	12
8.0	CONCLUSIONS AND RECOMMENDATIONS	12
9.0	CLOSURE.....	13

LIST OF APPENDICES, TABLES, AND DRAWINGS

APPENDICES

- Appendix A - Site Plans
- Appendix B - Assessor Qualifications and Insurance Certificates
- Appendix C - Resource Information
- Appendix D - Regulations

TABLES

Table 1 - Summary of Findings and Recommendations.....	ii
Table 2 - Property Information	4
Table 3 - Adjacent Properties - Land Use.....	5
Table 4 - Historical Information for the Site	7
Table 5 - Historical Information for Adjoining Properties	7

DRAWINGS

Drawing 1	Site Location Plan	Appendix A
Drawing 2	Site Plan Showing Adjacent Land Use	Appendix A



1.0 INTRODUCTION

WA Environmental Services Ltd. (WAES) was retained by Oak Pointe Inc., Gideon Acquisitions Ltd. and Clayton Koster a Joint Venture, also known as Butte Landing, to conduct a Phase I Environmental Site Assessment of a property located approximately 300 m south of Rogers Avenue South on the east side of Secondary Road 843, in the Town of Picture Butte, Alberta. The legal description for the site is Lot 1 and 2, Block 3, Plan 2311035. It is understood that the assessment is required due to a potential business transaction involving the property, with the intention to develop the site into multi-family four-plexes.

The purpose of the Phase I ESA was to identify any actual or potential environmental contaminants associated with the site that exist as a result of current or past activities.

This report is presented in nine sections. Sections 1 and 2 present general information about the project, and describe the scope of work and the methodology used. Section 3 provides a summary of applicable legislation that may be referenced during the assessment. Sections 4 to 6 describe the present and historic conditions of the subject and adjacent properties. Section 7 presents the findings of the site visit. Environmental concerns are identified in this section. Significant environmental concerns and related recommendations are summarized in Section 8. Section 9 discusses the limitations of the assessment and its findings. Supporting information is provided in several appendices at the end of this report. Select photographs are included in the text of this report.

2.0 PHASE I SCOPE AND METHODOLOGY

2.1 Scope of Work

The Phase I ESA carried out by WAES on this property is based on the requirements of the Canadian Standards Association (CSA) Phase I Environmental Site Assessment Information Product, Z768-01, April 2013 (CSA protocol, reaffirmed in 2023) and consists of the following:

- records review;
- interviews with regulatory officials and personnel associated with the site and adjoining properties;
- a site visit; and
- evaluation of information and preparation of the report provided herein.

A Phase I ESA does not include sampling or testing of air, soil, groundwater, surface water or building materials. These activities would be carried out in a Phase II ESA, if required. No enhancements of this assessment were conducted. The professional qualifications of the project team and Insurance Certificates are provided in Appendix B. The contract between Oak Pointe Inc. Gideon Acquisitions Ltd. and Clayton Koster a Joint Venture, also known as Butte Landing and WAES to conduct the Phase I Environmental Site

Assessment is confidential and has not been included in this report.

2.2 Methodology

2.2.1 Records Review

The applicable search distance for the records review included properties immediately adjacent to the sites and other properties (as identified by aerial photographs, insurance records, etc.) where the potential for environmental contamination of the subject sites was apparent (e.g., petroleum products storage in the immediate area).

Previous Environmental Site Assessments were not provided for review. A list of records reviewed is included in **Appendix C**.

2.2.2 Interviews

Interviews were carried out to obtain or confirm information on the environmental characteristics of this property. A summary of interviewees and contact information is presented in Appendix C.

2.2.3 Site Visit

The subject property and readily visible and publicly accessible portions of adjacent sites were examined for the presence of actual or potential environmental contamination. All common areas of the property were accessible to WAES during the site visit on October 12, 2023. All areas of the site were available for assessment, with the exception of the residence located at the northwest corner of the site.

3.0 REGULATORY FRAMEWORK

Applicable federal, provincial and municipal regulations were reviewed to identify and assess potential or actual environmental contamination at the sites and to develop appropriate recommendations. It should be noted, however, that this assessment did not include a review or audit of operational environmental compliance issues or of any environmental management system (EMS) that may exist for the property. Where required, the documents listed in Appendix D were used as reference material for the completion of the Phase I Assessment.

4.0 SITE DESCRIPTION

4.1 Property Description

The site is located at the south end of the town of Picture Butte, Alberta, approximately 300 m south of Rogers Avenue South. The site is zoned as Urban Reserve (U-R) with a plan area of approximately 0.41 ha. The legal description for the site is Lot 1 and 2, Block 3, Plan 2311035, Picture Butte, Alberta. (Drawing 2, Appendix A).



*Photograph 1: Looking northeast at the subject site from Secondary Road 843
Note: Residence located in the northwest corner of the site (arrowed).*

4.2 Soil, Topography and Drainage

The site is generally flat. Surface water from the site appears to drain towards the coulee draw, east of the site. The site soils are typically silt and clay, overlying clay till up to 20 m thick.

Based on local topography, shallow groundwater flow is suspected to be eastward towards the coulee draw. The direction of regional (i.e., deep) groundwater flow is predicted to be southeast towards the Oldman River (Tokarsky, 1974¹).

¹Tokarsky, O. 1974. *Hydrogeology of the Lethbridge-Fernie Area*. Alberta Research Council

It should be noted that topography, geologic materials, development of land and soil disturbances influence localized variances in groundwater movement and pattern. In addition, groundwater levels will fluctuate seasonally and in response to climatic conditions.

No evidence of wells, pits, lagoons, stressed vegetation, or standing water was observed on the property.

4.3 On-Site Buildings and Structures

There is one single family dwelling located at the northwest corner of the site, that is not included as part of this assessment. A summary of the property information is presented in Table 2.

Table 2 - Summary of Lot Information	
Property	
Current Zoning	Urban Reserve (U-R)
Area	0.41 ha
Services: Sewer, Water, Electricity	The Town of Picture Butte has provided potable water to the property line. There is a catch basin located in close proximity to the north property line, however it is not connected to a storm sewer system at this time.
Building	
Number of Storeys	NA
Exterior Finish	NA
Interior Finish	NA
Roof	NA
Foundation	NA
Basement	NA
Insulation	NA
Lighting	NA
Heating, Ventilating, Air Conditioning	NA
Sumps, Floor Drains	NA
Underground and Aboveground Storage Tanks	NA



Photograph 2 – Looking east along north property line. Note catch basin Previously installed in preparation for storm sewer connection (arrowed)

5.0 ADJACENT PROPERTIES

Land use of the adjacent properties is identified on Drawing 2 in Appendix A. A summary of this land use is presented in Table 3.

Table 3 - Adjacent Properties - Land Use		
Boundary Side of Site	Current Activity	Potential Sources of Contamination
North	A County of Lethbridge potable water truck station occupies the property	None Identified
South	Institutional: The Netherlands Reformed Congregation (church)	None Identified
East	Agricultural and the Picture Butte Memorial Cemetery (southeast)	None identified

Table 3 - Adjacent Properties - Land Use		
West	Residential: The Maple Estate Mobile Home Park and the running track for the Picture Butte High School are located to the west across Secondary Road 843.	None identified

No evidence of actual or potential environmental impact from neighbouring properties was observed on the site during the site reconnaissance.



Photograph 3 – Looking southwest at Maple Estate mobile home park across Secondary Road 843.

6.0 REVIEW OF HISTORICAL LAND USE AND REGULATORY HISTORY

6.1 Historical Land Use

Historical information describing the site was obtained from a variety of sources as detailed in Appendix C of this report. Lists of historical land uses for the investigated site and adjacent properties are provided in Table 4 and 5, respectively.

Table 4 - Historical Information for the Site		
Period/Date	Land Use	Sources of Information
Prior to mid-1960s	Undeveloped/agricultural land.	Air photographs and interviews
Mid 1960s to the present day	The single family dwelling was constructed in the mid-1960s at the northwest corner of the site and remains to the present day	Air photographs and interviews

Based on information obtained during the historical review, it is unlikely that the presence of the above land use has adversely impacted the site.

Table 5 - Historical Information for Adjacent Properties		
Boundary Side of Site	Comments	Sources of Information
North	The site to the north remained vacant agricultural land until the mid-1960s when the County of Lethbridge potable water truck station was constructed and remains to the present-day.	Air photographs and interviews
South	The property to the south of the subject site, remained as vacant agricultural land until the early 2000s when the Netherlands Reformed Congregation commenced development and remains to the present-day.	Air photographs and interviews
East	The site to the east remains as undeveloped agricultural land and coulee draw.	Air photographs and interviews
West	The site to the west was undeveloped agricultural land until 1978 when development of the present day trailer park began and remains to the present-day.	Air photographs and interviews

Based on information obtained during the historical review of the adjacent properties, it is unlikely that the adjacent land use has adversely impacted the site.

6.2 Regulatory History

A summary of information obtained from interviews with and/or written requests from regulatory agencies is provided below:

- **Alberta Environment and Protected Areas, Regulatory Approvals Centre:** Information received from the Regulatory Approvals Centre indicates that they have no record of any approvals having been issued for the site.
- **Alberta Environment and Protected Areas, Environmental Site Assessment Repository:** Information received from the ESAR indicates that they have no records pertaining to the site.
- **Environmental Law Centre:** Information received from the Environmental Law Centre indicates that they have no record of Control Orders, Stop Orders, Prosecutions, or Tickets issued regarding the property owner.
- **Safety Codes Council of Alberta:** Written information received from the SCC states that they have no record of active or abandoned storage tanks registered at the site.
- **Town of Picture Butte Fire Department:** Verbal information received indicated that there are no records of violations (of the 2019 Alberta Fire Code) for the site.
- **Alberta Land Titles:** Written information from Alberta Land Titles indicated that previous ownership of the land has not revealed evidence of potential environmental contamination of the site.

7.0 SITE VISIT FINDINGS AND DISCUSSION

The site visit was carried out by Mr. Tim Waters, C.Tech on October 12, 2023.

7.1 Fuel/Chemical Handling and Storage

No aboveground fuel storage tanks or chemical handling, storage or disposal activities were observed at the site. No evidence of fill or vent pipes indicating the possible presence of underground storage tanks was observed on site.

7.2 Waste Materials

Presently, no waste is generated at the site.

7.3 Spill and Stain Areas

None observed at the time of the site reconnaissance.

7.4 Wastewater Discharges

No regulated wastewater or sewage is presently generated at the site. No oil/water separators were observed at the subject site.

7.5 Air Discharges

No sources of air emissions are presently generated at the site.

7.6 Polychlorinated Biphenyls (PCBs)

The past use of PCBs in electrical equipment such as transformers, fluorescent lamp ballasts, and capacitors was common. The federal *Environmental Contaminants Act*, 1976, prohibited the use of PCBs in heat transfer and electrical equipment installed after September 1, 1977, and in transformers and capacitors installed after July 1, 1980. In addition, storage and disposal of PCB waste materials is regulated. No PCB containing equipment was observed at the time of the site reconnaissance.

7.7 Asbestos

The common use of potential friable (breakable by hand) asbestos-containing materials (ACMs) (pipe/boiler insulation and fireproofing) in construction generally ceased voluntarily in the mid 1970s. None observed at the time of the site reconnaissance.

7.8 Urea Formaldehyde Foam Insulation (UFFI)

The sale and installation of UFFI as thermal insulation began in approximately 1970, and continued until December 1980 when it was banned under the federal *Hazardous Products Act*. UFFI was installed in both new and existing buildings during this period. Evidence of UFFI was not observed during the site reconnaissance, however, intrusive investigation of wall cavities and sampling is not within the scope of a Phase I ESA.

7.9 Lead

In 1976, the lead content in interior paint was limited to 0.5% by weight under the federal *Hazardous Products Act*. Lead is also associated with plumbing solder and old pipes as well as other lead based products such as wall shielding (x-ray rooms). If present, lead-based paint is typically concealed beneath multiple layers of paint applied over a period of years during renovation. Lead-based paint and plumbing equipment are not a direct health risk when concealed (under layer of non lead-based paint) and/or in good condition. Lead-based paint should be considered, however, when planning renovations or demolition, when particles could be released and/or ingested during the course of the work. No evidence of lead based

products was observed on-site during the site reconnaissance; however, intrusive sampling for lead and lead based paints is not within the scope of a Phase I ESA.

7.10 Ozone Depleting Substances (ODSs)

In 1994, the federal government filed the *Ozone-depleting Substances Regulations* to amend controls on production and consumption of (chlorofluorocarbons (CFCs), Halons, carbon, tetrachloride and methyl chloroform). ODSs may be associated with operations such as fire extinguishing systems, fumigant and pesticide application, foam manufacturing, prescription metered dose inhalers, refrigeration and air-condition units, solvent cleaning and degreasing facilities. No sources of ozone depleting substances (ODSs) were observed on-site.

7.11 Radon

Radon gas is a product of the decay series that begins with uranium. Radon is produced directly from radium, which can be commonly found in bedrock that contains black shale and/or granite. Radon gas can migrate through the ground and enter buildings through porous concrete or fractures. Radon tends to accumulate in poorly ventilated basements. Health Canada now recommends that all homeowners have their homes tested for radon. Methods that the builder can use to reduce entry routes in new home construction include:

- minimizing cracking of the basement floor slab by properly preparing the sub-slab area (i.e. replacing unstable soil, large stones, etc.) using higher strength concrete, and providing proper curing conditions,
- sealing the basement floor/foundation wall crack,
- sealing around all penetrations of the foundation walls and basement floors by objects such as utility lines (e.g. water, sewer, electrical, natural gas, fuel oil),
- installing a barrier of at least 0.15 mm (6 mil) polyethylene under the basement floor slab or on top of exposed soil in crawlspaces,
- installing special traps in floor drains that allow water to drain but prevent radon from entering the basement, and
- using a solid course of masonry units at the top and bottom of concrete block foundation walls.

Reducing the pressure difference between the home and soil may reduce the amount of radon drawn indoors. Options include:

- installing an insulated duct to provide outdoor air to a gas or oil furnace, boiler or water heater,
- for a forced-air service heating system, installing and insulated duct from the outdoors to the main return-air duct,
- equipping a wood or gas fireplace with glass doors that fit tightly and with a supply of outdoor air for combustion, and
- installing a balanced ventilation system such as a heat recovery ventilator (HRV).

7.12 Electromagnetic Frequencies (EMFs)

No high-tension transmission lines were observed near the site. Electro-magnetic frequencies are not anticipated to impact the site.

7.13 Noise and Vibration

There were no major sources of noise and vibration identified on or adjacent to the subject property during the site reconnaissance.

7.14 Hydraulic Hoists and Elevators

There were no hydraulic hoists or elevators observed at the subject property during the site reconnaissance.

7.15 Mercury

None observed at the time of the site reconnaissance.

7.16 Mould

Mould can be found anywhere in a building, particularly if a flood or spill/leak has occurred and was not repaired immediately; and mould is usually associated with damp, enclosed areas. A mould assessment was not conducted for the subject site and mould was not observed at the time of the site reconnaissance.

7.17 Water Supply

Potable water for the subject site is supplied to the property line by the Town of Picture Butte.

7.18 Fill Areas

None observed at the time of the site reconnaissance.

8.0 CONCLUSIONS AND RECOMMENDATIONS

The site remained undeveloped until the mid-1960s when a single family dwelling/acreage was constructed. This remains to the present day and does not form part of this assessment as the owner is elderly and has an arrangement with the purchasers to stay in place until she decides to move into a more convenient location.

A County of Lethbridge potable water truck station occupies the property to the north. The Netherlands Reformed Congregation (church) is located to the south. Adjacent land use to the east is agricultural. The Picture Butte Memorial Cemetery is located to the southeast of the site and the Maple Estate Mobile Home Park and the running track for the Picture Butte High School are located to the west across Secondary Road 843.

No hazardous building materials were observed at the time of the site reconnaissance. However, should there be an intention to demolish the residence located in the northwest corner of the site, a hazardous materials assessment should be carried out, so as not to expose any workers to harmful substances such as asbestos, lead based paint etc.

Information gathered and observations made during the Phase I Environmental Site Assessment have not revealed any evidence of environmental contamination associated with the site.

Based on our findings, no further environmental investigation of the site is recommended at this time.

9.0 CLOSURE

The American Society for Testing and Materials Standard of Practice notes that no environmental site assessment can wholly eliminate uncertainty regarding the potential for recognized environmental conditions in connection with a property. Performance of a standard environmental site assessment protocol is intended to reduce but not eliminate this uncertainty, given reasonable limits of cost and time.

This report has been prepared for the sole benefit of Oak Pointe Inc. Gideon Acquisitions Ltd. and Clayton Koster a Joint Venture, also known as Butte Landing. This report may not be relied upon by any third party or entity without the express written consent of WA Environmental Services Ltd. and Oak Pointe Inc. Gideon Acquisitions Ltd. and Clayton Koster a Joint Venture, also known as Butte Landing.

Any use a third party may make of this report, or any reliance on decisions made based on it, are the responsibility of such third parties. WA Environmental Services Ltd. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

Some of the information presented in this report was provided through existing documents and interviews. Although attempts were made, whenever possible, to obtain a minimum of two confirmatory sources of information, WA Environmental Services Ltd. in certain instances, has been required to assume that the information provided is accurate.

The conclusions presented represent the best judgement of the assessor based on current environmental standards and on the site conditions observed on October 12th, 2023. Due to the nature of the investigation and the limited data available, the assessor cannot warrant against undiscovered environmental liabilities.

Should additional information become available WA Environmental Services Ltd. requests that this information be brought to our attention so that we may re-assess the conclusions presented herein.

Respectfully submitted,

WA ENVIRONMENTAL SERVICES LTD.



Tim Waters, C.Tech
Project Manager




Beverly Waters, C.E.S.A.
Senior Reviewer


APPENDIX A

SITE PLANS



	Project: Phase I Environmental Site Assessment	Project No: WA-23-101402	Date: October 17, 2023
	Location: Lots 1 & 2, Block 3, Plan 2311035 Picture Butte, Alberta	Drawn By: TGW Reviewed By: BFW	Client: Butte Landing
	Drawing 1: Site Location Plan		



	<p>Project: Phase I Environmental Site Assessment</p> <p>Location: Lots 1 & 2, Block 3, Plan 2311035 Picture Butte, Alberta</p>	<p>Project: WA-23-101402</p> <p>Drawn By: TGW Reviewed By: BFW</p>	<p>Date: October 17, 2023</p> <p>Client: Butte Landing</p>
<p>Drawing 2: Site Location Plan: Site Plan Showing Adjacent Land Use</p>			

APPENDIX B

ASSESSOR QUALIFICATIONS

INSURANCE CERTIFICATES

Associated Environmental Site Assessors of Canada



This is to acknowledge that

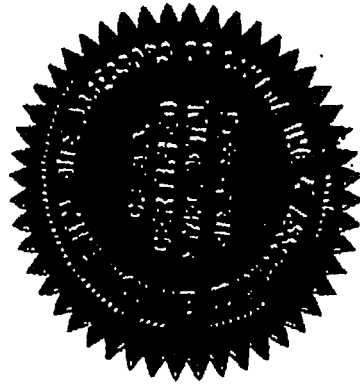
Beverly Waters


has been qualified for the Certified Environmental Site Assessment Designation

C.E.S.A.

*Certified Environmental Site Assessor - Phase 1
according to AESAC's National Certification Program*

signed and sealed this day of October 16, 2004




Bruce Loyak, President



ARCHITECTS/ENGINEERS PROFESSIONAL LIABILITY INSURANCE

Effected with certain Lloyd's Underwriters ("the Insurer") through Lloyd's Approved Coverholder ("the Coverholder")
SOUTH WESTERN INSURANCE GROUP LIMITED
 21 Four Seasons Place - Suite 105, Toronto, ON M9B 6J8

ARCHITECTS AND ENGINEERS PROFESSIONAL LIABILITY, ARCHITECTS, ENGINEERS AND CONTRACTORS POLLUTION LIABILITY, TECHNOLOGY BASED SERVICES, TECHNOLOGY PRODUCTS, COMPUTER NETWORK SECURITY, AND MULTIMEDIA AND ADVERTISING LIABILITY INSURANCE

DECLARATIONS
THIS IS A CLAIMS-MADE PROFESSIONAL LIABILITY INSURANCE POLICY
PLEASE READ CAREFULLY

RENEWAL This COVERAGE SUMMARY-DECLARATION, together with the Policy wordings and endorsements, if any issued to form a part thereof, completes the below numbered policy.

	BROKER Schwartz Reliance Insurance 300-10th Street South, LETHBRIDGE, AB, T1J 3Y5	Policy No: LAP980175
1.	NAMED INSURED WA Environmental Services Ltd.	
	MAILING ADDRESS 221 Riverpark Blvd West, Lethbridge, AB, T1K 0P6	
	LOCATION ADDRESS 221 Riverpark Blvd West, Lethbridge, AB T1K 0P6	
	Description of Operations Environmental / pollution 100%	
2.	POLICY PERIOD From June 8, 2023 to June 8, 2024	12:01 a.m. Standard Time at the Postal Address of the Named Insured as stated herein
3.	LIMIT OF LIABILITY	
	(a) \$2,000,000	Each Claim Limit – Includes Claims Expenses
	(b) \$2,000,000	Annual Aggregate Limit – Includes Claims Expenses
	The total Limit of Liability of the Insurer, including Damages and Claims Expenses, for all Claims first made against the Insured and reported in writing to the Insurer during the Policy Period shall not exceed in the Aggregate, the limit stated herein.	
4.	DEDUCTIBLE	
	(a) \$7,500	Includes Claims Expenses.
5.	PREMIUM Minimum Earned Premium:	\$16,810.00 30 % (\$5,043.00)
6.	RETROACTIVE DATE	June 08, 2000 - Primary \$1,000,000 Limit June 08, 2011 - \$1,000,000 excess of \$1,000,000 Limit
7.	TECHNOLOGY BASED SERVICES, TECHNOLOGY PRODUCTS, COMPUTER NETWORK SECURITY, AND MULTIMEDIA AND ADVERTISING LIABILITY INSURANCE COVERAGE OPTION: Purchased <input checked="" type="checkbox"/> If this box is checked then Insuring Agreements C, D, E and F of this Policy shall apply. Not Purchased <input type="checkbox"/> If this box is checked then Insuring Agreements C, D, E and F of this Policy shall not apply. If no box is checked, then Insuring Agreements C, D, E and F of this Policy shall not apply.	

This policy contains a clause which may limit the amount payable

For purposes of the Insurance Companies Act (Canada), this document was issued in the course of insurance business in Canada of the Insurer(s) participating on this policy.

8.	OPTIONAL EXTENSION PERIOD: 100% of premium set forth in Item 5 above.	
9.	NOTICE OF CLAIM TO:	South Western Insurance Group Ltd. 1.855.801.0299 swgclaims@scm.cas
10.	NOTICE OF ELECTION:	South Western Insurance Group Ltd. 21 Four Seasons Place - Suite 105, Toronto, ON M9B 6J8
11.	SERVICE OF SUIT:	See Identification of Insurer Section.
12.	CHOICE OF LAW:	Canada
13.	FORMS AND ENDORSEMENTS ATTACHED HERETO:	
	LYD-IRS2 Mandatory/Compulsory Attachments Clause STATSALL Statutory Conditions and General Conditions 623AFB0089 AFB Short Rate Cancellation Table Endorsement 623AFB0097 Warranted No Higher Limits Endorsement AMDEND Amendatory Endorsement L648B-20 Cyber Exclusion Endorsement LBA-041B Rain Screen Exclusion LSW-559 Retroactive Limitation Clause MIN-EARN1 Minimum Earned Premium Endorsement -- 30% NMA-1477 Radioactive Contamination Exclusion Clause - Liability - Direct NMA-2918 War and Terrorism Exclusion NMA-2962 Biological or Chemical Materials Exclusion AFB-AE - A&E Media Tech LBA-091 Supplementary Payments Amendment	
14.	This Policy has been issued based on the information contained in the Application signed and dated	

IDENTIFICATION OF INSURER / ACTION AGAINST INSURER

This insurance has been effected in accordance with the authorization granted to the Coverholder by the Underwriting Members of the Syndicates whose definitive numbers and proportions are shown in the Table attached to Agreement No. B1306C502782200 (Hereinafter referred to as "the Underwriters"). The Underwriters shall be liable hereunder each for his own part and not one for another in proportion to the several sums that each of them has subscribed to the said Agreement. In any action to enforce the obligations of the Underwriters they can be designated or named as "Lloyd's Underwriters" and such designation shall be binding on the Underwriters liable hereunder as if they had each been individually named as defendant. Service of such proceedings may validly be made upon the Attorney In Fact In Canada for Lloyd's Underwriters, whose address for such service is Royal Bank Plaza South Tower, 200 Bay Street, Suite 2930, P.O. Box 51 Toronto, Ontario M5J 2J2.

NOTICE

Any notice to the Underwriters may be validly given to the Coverholder.

In witness whereof this policy has been signed, as authorized by the Underwriters, by SOUTH WESTERN INSURANCE GROUP LIMITED.

Per



John A. Barclay, President & CEO

The Insured is requested to read this policy, and if incorrect, return it immediately for alteration. In the event of an occurrence likely to result in a claim under this Insurance, immediate notice should be given to the office designated above.

This policy contains a clause which may limit the amount payable

For purposes of the *Insurance Companies Act* (Canada), this document was issued in the course of insurance business in Canada of the Insurer(s) participating on this policy.

General Liability

Coverage	Form	Deductible \$	Limit of Insurance \$
Commercial General Liability Max	LR20-3		
Coverage A - Bodily Injury and Property Damage Liability - Each Occurrence			2,000,000
Coverage A - Liability for Abuse - Aggregate			2,000,000
Coverage A - Products-Completed Operations - Aggregate			2,000,000
Coverage A - Property Damage Deductible - Each Occurrence		1,000	
Coverage B - Personal Injury and Advertising Injury Liability - Per Person or Organization			2,000,000
Coverage C - Medical Payments - Each Person			50,000
Coverage D - Tenants' Legal Liability - Any One Premises		1,000	500,000
S.E.F. No. 96 - Contractual Liability Endorsement	L220-2		
Coverage Territory Amendment - Canada only	L407-2		
Crane and Hoist Operators' Liability Endorsement	L408-2	1,000	100,000
Employee benefit program liability	L410-2		
Aggregate			1,000,000
Each Employee		1,000	1,000,000
Forest and Prairie Fire Fighting Expense Endorsement - Oil and Gas	L416OG-2		
Limit of liability - Aggregate			1,000,000
Limit of liability - Each accident or "occurrence"		2,500	1,000,000
S.E.F. 94 Legal Liability for Damage to Hired Automobiles	L429-1		
Subsection 1 - All Perils		1,000	75,000
S.E.F. No. 99 Excluding Long term Leased Vehicle Endorsement	L431-1		
S.P.F. No. 6 - Standard Non-Owned Automobile Liability Policy	L432-2		
Section A - Third party Liability			2,000,000

General Liability

Coverage	Form	Deductible \$	Limit of Insurance \$
Absolute Pollution Exclusion Endorsement	L436-2		
Concrete Rip & Tear Liability Endorsement	L440-2		
Limit of Liability - Annual aggregate			50,000
Limit of Liability - Each claim			50,000
Reimbursement			1,000
Employers Liability Exclusion	L442-2		
Sub-contractor's Warranty Endorsement	L450-2		
Minimum Limit of Liability - Aggregate Limit			1,000,000
Minimum Limit of Liability - Per Accident or Occurrence			2,000,000
Amended Professional Services Exclusion Endorsement	L483-2		
Oil and Gas Limitation Endorsement	L508-2		
Deductible: land		5,000	
Deductible: pipelines		50,000	
Deductible: underground		1,000	
Deductible: water		25,000	

Rating Information(s)

Premises, Property and Operations

**Rating
Base**

Environmental Consultants Flat premium
 Environmental Consultants Flat premium

Amount of revenue (receipts) disclosed on file for pricing and coverage purposes* \$506,000
 *Note – Only operation(s) where pricing is receipts based are included in the amount of revenues shown.

Name: Timothy G. Waters, C.Tech

Position: Senior Project Manager

Education: General Certificate of Education, Advanced Level
(Geography/Geomorphology), University of London, England.

Relevant Experience:

- Lead assessor on 150 Phase I Environmental Site Assessments of residential, commercial, industrial and institutional properties throughout Alberta and B.C.
- Transport Canada, Lethbridge Airport Fire Training Area. Responsible for Phase III drilling program, sample collection and gathering field data.
- Transport Canada, Medicine Hat and Empress Non Directional Beacon Sites. Responsible for Phase II drilling program and subsequent field monitoring and sampling
- Transport Canada, Pincher Creek, Alberta: Responsible for data collection at three facilities at the Pincher Creek Airport and subsequent sampling of groundwater.
- Federal Business Development Bank, Blairmore, Alberta. Responsible for the safe removal of USTs.
- Alberta Transportation and Utilities, Kipp and Burmis, Alberta. Responsible for the safe removal of USTs.

APPENDIX C
RESOURCE INFORMATION

**REGULATORY CONTACTS, PERSONS INTERVIEWED, AND
HISTORICAL SOURCES**

SOURCE	INFORMATION/CONTACT/PHONE NUMBER
Alberta Environment and Protected Areas	Environmental Permits/Approvals Mr. Dennis Eriksen, Regulatory Approvals Centre (403) 427-6311
Aerial Photographs	1938, 1950, 1974, 1981, 1991, 2003, 2010, 2018, 2022
Fire Insurance Maps	Not available for this site
Historical City Directories	Not available for this site
Previous Environmental Reports	None
Other Sources	<p>Ms. Iris Djurfors, Environmental Law Centre, (403) 424-5099</p> <p>Mr. Gerry Letendre, SCC, (780) 413-0099</p> <p>Town of Picture Butte Planning Dept. (403) 732-4555 (Michelle)</p> <p>Town of Picture Butte, Volunteer Fire Dept, (403) 732-4100</p> <p>Schwartz Reliance Registry (Land Titles) (403) 320-1010</p> <p>Mr. Art Leusink, A.J. Excavating, Picture Butte (403) 308-8127</p> <p>Ms. Erin Mick, CBC contributor: <i>“Growing Up in a Trailer Park”</i></p> <p>Mr. Josh Marti, Avison Young Realtor: (403) 795-8484</p>

APPENDIX D
REGULATIONS

Federal

Legislation

Canada Water Act

- Guidelines for Canadian Drinking Water Quality - 6th edition
- Guidelines for Effluent Quality and Wastewater Treatment at Federal Establishments

Canadian Environmental Protection Act

- Chlorobiphenyls Regulations (SOR/91-152)
- Federal Aboveground Storage Tank Technical Guidelines
- Federal Underground Storage Tank Technical Guidelines
- Registration of Storage Tank Systems for Petroleum Products and Allied Petroleum
- Federal Lands Regulations
- Storage of PCB Material Regulations (SOR/92-507)

Fisheries Act

Transportation of Dangerous Goods Act/Regulations

Hazardous Products Act

Policies, Guidelines and Codes

Canadian Council of Ministers of the Environment (CCME)

- Environmental Codes of Practice for Underground Storage Tanks Containing Petroleum Products and Allied Petroleum Products, March 1993
- Environmental Code of Practice for Aboveground Storage Tanks Containing Petroleum Products, 1993

Government of Canada Asbestos Abatement Guidelines, 1991-01-04

Code of Good Practice for Handling Solid Wastes at Federal Establishments (Environment Canada)

Guidelines for Effluent Quality and Wastewater Treatment at Federal Establishments (EPS-1-EC-76-1)

Provincial

Alberta Fire Code (2019)

Environmental Protection and Enhancement Act (1993)

Ozone-Depleting Substances and Halocarbons Regulation (2000)

Occupational Health and Safety Act (1993)

Transportation of Dangerous Goods Control Act (1986)

Municipal

Town of Picture Butte Unsightly/Untidy Premises By-law

Town of Picture Butte Refuse By-law

Town of Picture Butte Sewer Service By-law

Town of Picture Butte Noise Control By-law



Traffic Impact Assessment

Picture Butte Multi-Family Residential

Prepared for:

Oak Pointe Inc.

Prepared by:

Stantec Consulting Ltd.
230 – 704 4th Avenue South
Lethbridge AB, T1J 0N8

Sign-off Sheet

This document entitled Traffic Impact Assessment was prepared by Stantec Consulting Ltd. ("Stantec") for the account of Oak Pointe Inc. Any reliance on this document by any third party is strictly prohibited. The material in it reflects Stantec's professional judgment in light of the scope, schedule and other limitations stated in the document and in the contract between Stantec and the Client. The opinions in the document are based on conditions and information existing at the time the document was published and do not take into account any subsequent changes. In preparing the document, Stantec did not verify information supplied to it by others. Any use which a third party makes of this document is the responsibility of such third party. Such third party agrees that Stantec shall not be responsible for costs or damages of any kind, if any, suffered by it or any other third party as a result of decisions made or actions taken based on this document.

Prepared by: **Angela Forsyth, P.Eng.**

Reviewed by: **Lindsay Haskins, P.Eng.**

Corporate Authorization

Table of Contents

1.0	INTRODUCTION	1
1.1	OBJECTIVES.....	1
1.2	STUDY AREA.....	2
2.0	EXISTING INFRASTRUCTURE	5
2.1	ROAD NETWORK.....	5
2.2	LAND USE.....	5
3.0	EXISTING CONDITIONS	6
3.1	TRAFFIC VOLUMES.....	6
3.2	OPERATING CONDITIONS.....	9
3.3	INTERSECTION ANALYSIS.....	9
4.0	PROPOSED DEVELOPMENT	11
4.1	TRIP GENERATION.....	12
4.2	TRIP DISTRIBUTION AND ASSIGNMENT.....	12
5.0	TRANSPORTATION ASSESSMENT	17
5.1	INTERSECTION ANALYSIS.....	17
5.1.1	2043 Horizon Full-Build Operating Conditions.....	17
6.0	ATEC INTERSECTION TREATMENT WARRANTS	18
7.0	ILLUMINATION	19
8.0	ACCESS MANAGEMENT	20
9.0	RECOMMENDATIONS	21

LIST OF TABLES

Table 1: Level of Service Criteria.....	9
Table 2: Level of Service Summary for Background Operating Conditions.....	10
Table 3: Trip Generation Rate.....	12
Table 4: Peak Hour Trip Distribution.....	12
Table 5: Level of Service Summary for 2043 Horizon Full-Build Operating Conditions.....	17
Table 6: Estimated AADT.....	18

LIST OF FIGURES

Figure 1: Site Location.....	1
Figure 2: Existing Intersections.....	3
Figure 3: Existing (2022) Background Traffic Volumes.....	7
Figure 4: Horizon 2043 Background Traffic Volumes.....	8
Figure 5: Site Plan.....	11
Figure 6: AM Peak Development Traffic.....	13



Figure 7: PM Peak Development Traffic.....14
Figure 8: AM Peak Post-Development Traffic.....15
Figure 9: PM Peak Post-Development Traffic.....16

LIST OF APPENDICES

APPENDIX ATraffic Counts
APPENDIX B Synchro Outputs



TRAFFIC IMPACT ASSESSMENT

Introduction

1.0 INTRODUCTION

Stantec Consulting Ltd. (Stantec) is undertaking a Traffic Impact Assessment (TIA) for the proposed residential development by Oak Pointe Inc., in Picture Butte, Alberta. The subject area is located adjacent to Highway 843, approximately 350 metres south on the intersection of Highway 843 and Highway 519 (Rogers Avenue). **Figure 1** illustrates the location of the site within the town of Picture Butte.



Figure 1: Site Location

1.1 OBJECTIVES

The objectives of this TIA are as follows:

- Collect the historic traffic volumes from Alberta Transportation and Economic Corridors (ATEC) at the intersection of Hwy 843 and Hwy 519.



TRAFFIC IMPACT ASSESSMENT

Introduction

- Estimate the magnitude and characteristics of peak hour traffic generated by the proposed development.
- Evaluate the impacts of vehicular traffic generated by the proposed development on the existing intersections.
- Identify and recommend appropriate traffic operation and/or infrastructure improvements necessary to accommodate the anticipated traffic.

1.2 STUDY AREA

The study area includes the following existing intersections:

- Highway 843 and Highway 519
- Highway 843 and Maple Ridge Estates

Figure 2 outlines these intersections.

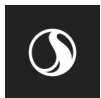


TRAFFIC IMPACT ASSESSMENT

Introduction



Figure 2: Existing Intersections



TRAFFIC IMPACT ASSESSMENT

Existing Infrastructure

2.0 EXISTING INFRASTRUCTURE

2.1 ROAD NETWORK

The existing road network within the area is comprised of two-lane rural cross sections along Highway 519 and Highway 843. There are direct accesses to several residential properties, farm lands and subdivisions. Highway 843 in this area extends from Hwy 519 on the north limit, to a dead end approximately 3 kilometres to the south.

There are two intersections in the immediate area of the proposed development. A mobile home park (Maple Ridge Estates) on the west side of Hwy 843 accesses the highway from two dedicated access points, separated by approximately 80 metres.

2.2 LAND USE

There is an existing residence that will remain on the north end of the proposed development. There is also a water fill station to the north. Picture Butte High School sits to the northwest of this site, however there is no access to the school along Highway 843. To the south there are some residences, a church, a seniors centre, a feed lot and several farming operations.



TRAFFIC IMPACT ASSESSMENT

Existing Conditions

3.0 EXISTING CONDITIONS

3.1 TRAFFIC VOLUMES

Background traffic volumes were obtained from ATEC's Traffic Volume Data Map, and estimated using the ITE Trip Generation Manual, 11th Edition for Maple Estates traffic. The two most recent traffic counts were completed in 2014, 2019. Pre-COVID-19 traffic growth suggests less than 1% traffic growth from the year 2014 to 2019. Post-COVID-19 traffic estimates suggest that traffic volumes have mostly recovered since 2019, but are not projecting any growth.

Although this traffic data in the area suggests very little growth, the background volumes were grown to 2043 using a 2% growth rate. Existing 2022 and Horizon 2043 background traffic volumes can be found in **Figure 3** and **Figure 4**, respectively.



TRAFFIC IMPACT ASSESSMENT

Existing Conditions

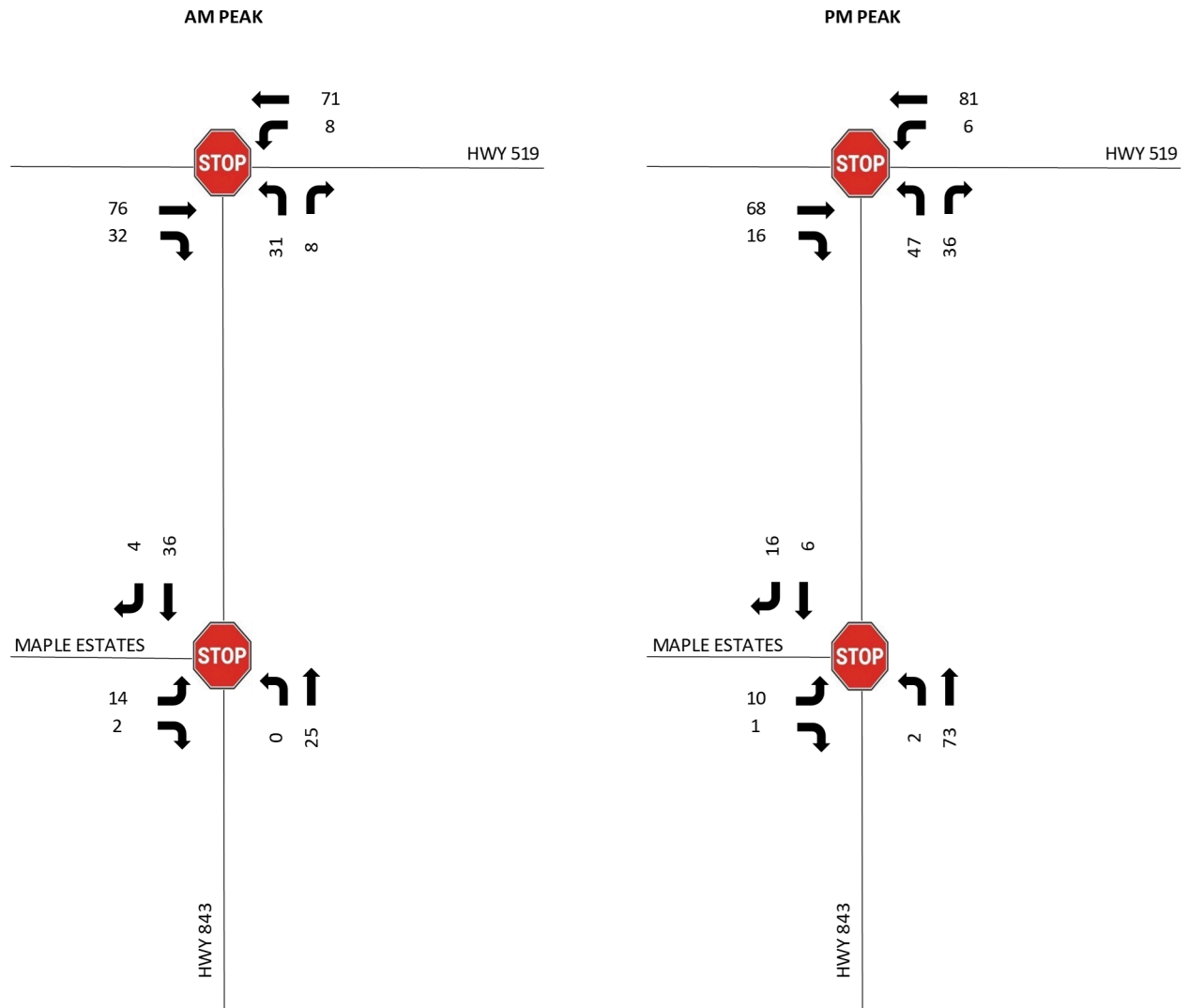


Figure 3: Existing (2022) Background Traffic Volumes



TRAFFIC IMPACT ASSESSMENT

Existing Conditions

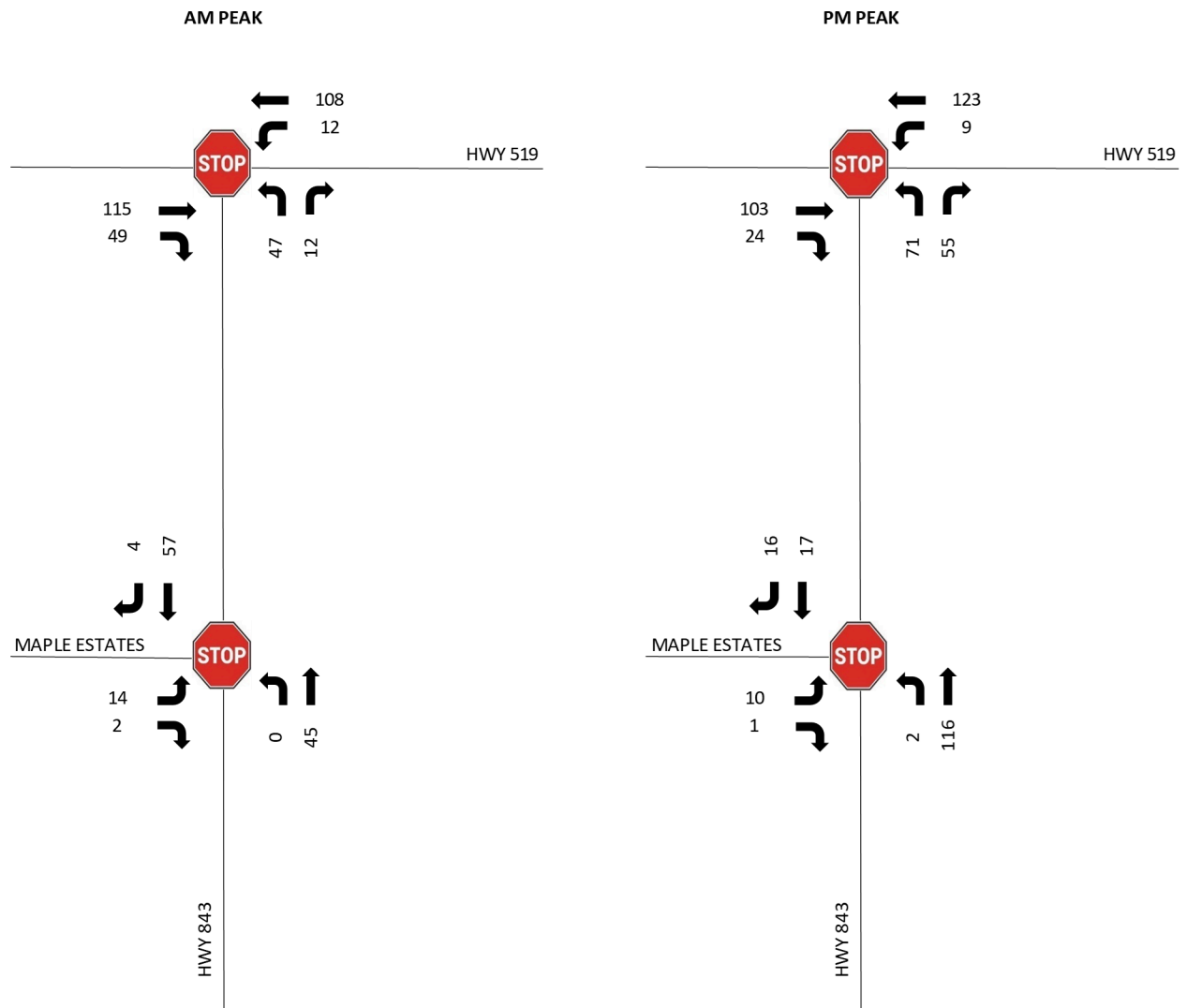


Figure 4: Horizon 2043 Background Traffic Volumes



TRAFFIC IMPACT ASSESSMENT

Existing Conditions

3.2 OPERATING CONDITIONS

Intersection analysis was completed using the Synchro 11 software package, supporting the Highway Capacity Manual. The methodology considers the intersection geometry, traffic volumes, posted speed limit, and intersection control for unsignalized intersections. For signalized intersections, the intersection geometry, traffic volumes, posted speed limit, traffic signal phasing/timing plan and pedestrian volumes are all considered. The level-of-service criteria is tabulated below in **Table 1** for both unsignalized and signalized intersections.

Level of Service	Average Control Delay (seconds per vehicle)		Comment
	Signalized Intersection	Unsignalized Intersection	
A	10.0 or less	10.0 or less	Very good operation
B	10.1 to 20.0	10.1 to 15.0	Good operation
C	20.1 to 35.0	15.1 to 25.0	Acceptable operation
D	35.1 to 55.0	25.1 to 35.0	Congestion
E	55.1 to 80.0	35.1 to 50.0	Significant congestion
F	More than 80.0	More than 50.0	Unacceptable operation

Table 1: Level of Service Criteria

The volume-to-capacity (v/c) ratio was also considered in the analyses. The v/c ratio represents the percentage of capacity the traffic volumes are consuming. If the v/c ratio is above 1.0, then the movement or intersection has exceeded capacity.

3.3 INTERSECTION ANALYSIS

Both intersections appear to operate acceptably under existing conditions. The background synchro analysis is shown in **Table 2**.



TRAFFIC IMPACT ASSESSMENT

Existing Conditions

Intersection	Intersection Control	Scenario	Measure	Eastbound			Westbound			Northbound			Southbound			Level of Service	
				Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right		
Highway 843 & Hwy 519	Two-Way Stop Control	AM Peak	Volumes (vph)		115	49				47		12					A
			Level of Service	A			A			B							
			V/C Ratio by Movement	0.1			0.01			0.09							
			95th Percentile Queue (m)	0			0.2			2.2							
		PM Peak	Volumes (vph)		103	24	9	123		71		55					A
			Level of Service	A			A			B							
			V/C Ratio by Movement	0.08			0.01			0.17							
		95th Percentile Queue (m)	0			0.2			4.8								
Highway 843 & Maple Estates	Two-Way Stop Control	AM Peak	Volumes (vph)	14		2				0	45			57	4	A	
			Level of Service	A			A			A							
			V/C Ratio by Movement	0.02						0			0.04				
			95th Percentile Queue (m)	0.4						0			0.04				
		PM Peak	Volumes (vph)	10		1				2	116			17	16	A	
			Level of Service	A			A			A							
			V/C Ratio by Movement	0.01						0			0.02				
		95th Percentile Queue (m)	0.3						0			0					

Table 2: Level of Service Summary for Background Operating Conditions



TRAFFIC IMPACT ASSESSMENT

Proposed Development

4.0 PROPOSED DEVELOPMENT

A site plan has been developed for the parcel, consisting of twenty, four-unit townhouse buildings, for a total of 80 residential units. The site is accessed by a single access lining up with the Maple Estates access to the west. The access point will service an internal loop accessing each residential building. A gated, graveled additional link will be provided for emergency access at an existing residential access point. The proposed site plan is shown in **Figure 5**.

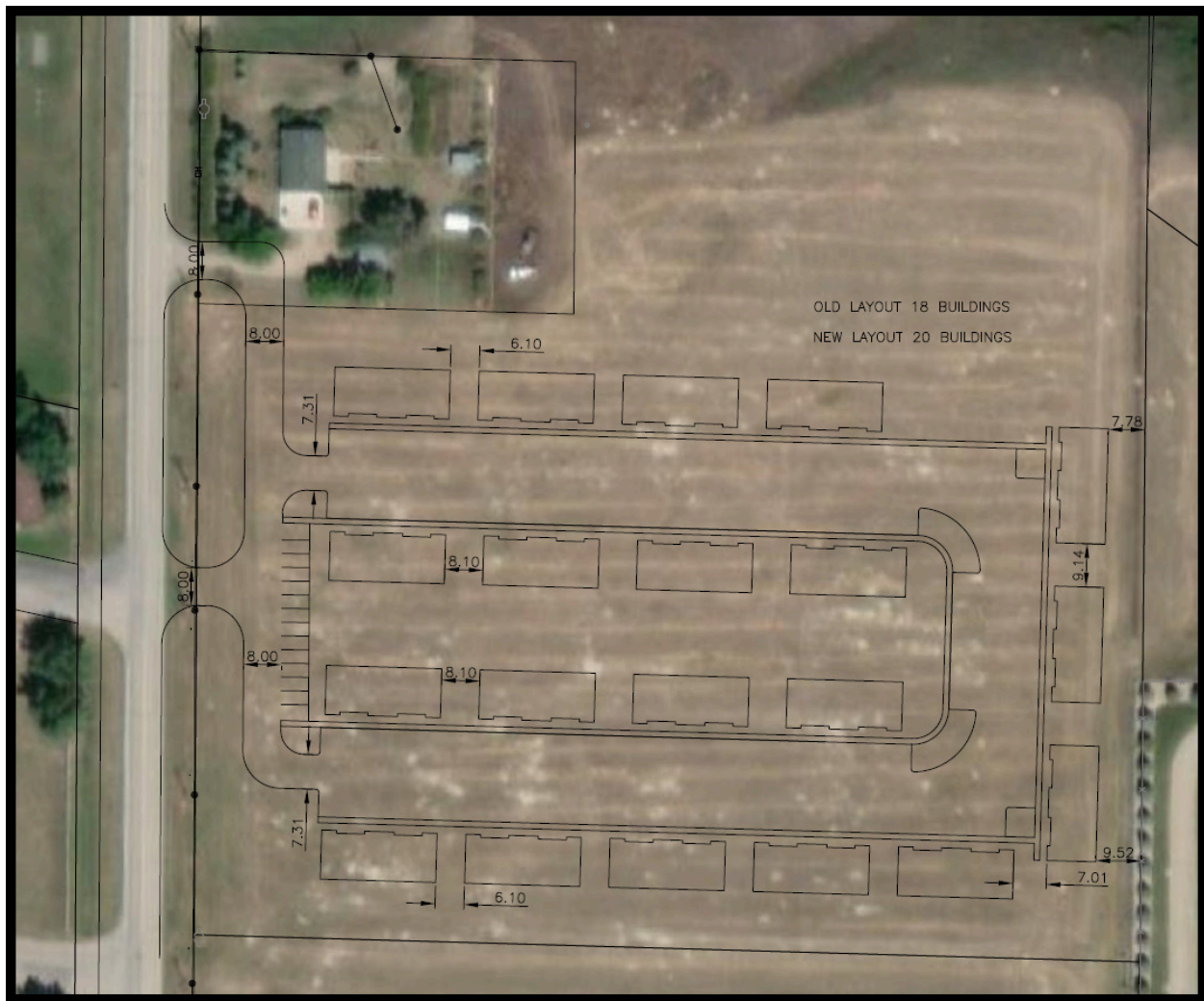


Figure 5: Site Plan



TRAFFIC IMPACT ASSESSMENT

Proposed Development

4.1 TRIP GENERATION

The trip generation for the site was estimated using the ITE Trip Generation Manual, 11th Edition. **Table 3** summarizes the estimated site traffic rates generated by the proposed site plan.

Land Use	Variable	AM Peak			PM Peak		
		Trip Rate	% In	% Out	Trip Rate	% In	% Out
215 – Single-Family Attached	Units	0.48	25%	75%	0.57	59%	41%

Table 3: Trip Generation Rate

4.2 TRIP DISTRIBUTION AND ASSIGNMENT

The directional distribution patterns for the new primary trips were based on the existing land uses and trip distribution patterns in the area. There is very little development to the south, so 90% of the new trips were assigned to northbound Hwy 843, with the remaining 10% assigned to southbound. At the intersection of Hwy 843 and Hwy 519, the existing trip distribution was taken into consideration, as well as the nature of the new residential trips. Although the existing trip distribution at this intersection is two-thirds to the west, that percentage was increased to 75% for this development. Much of the existing traffic to the south is for farming purposes, with more commercial destinations. This residential traffic will likely be travelling to the more densely populated areas of Picture Butte or continuing to the City of Lethbridge. The trip distribution is summarized in **Table 4**.

Peak hour	Intensity (units)	Total Trips	In				Out			
			Total	West	East	South	Total	West	East	South
AM	80	38	10	7	2	1	29	20	6	3
PM	80	46	27	18	6	3	19	13	4	2

Table 4: Peak Hour Trip Distribution

Based on the trip distribution patterns, the AM and PM peak hour traffic generated from the development were then assigned to the subject intersections. The assignment for the generated AM and PM peak hour traffic is illustrated in **Figure 6** and **Figure 7**, respectively.

Adding the development volumes to the background volumes give the full-build traffic volumes distributed over the roadway network. The full-build AM and PM peak hour volumes are shown in **Figure 8** and **Figure 9**, respectively.



TRAFFIC IMPACT ASSESSMENT

Proposed Development

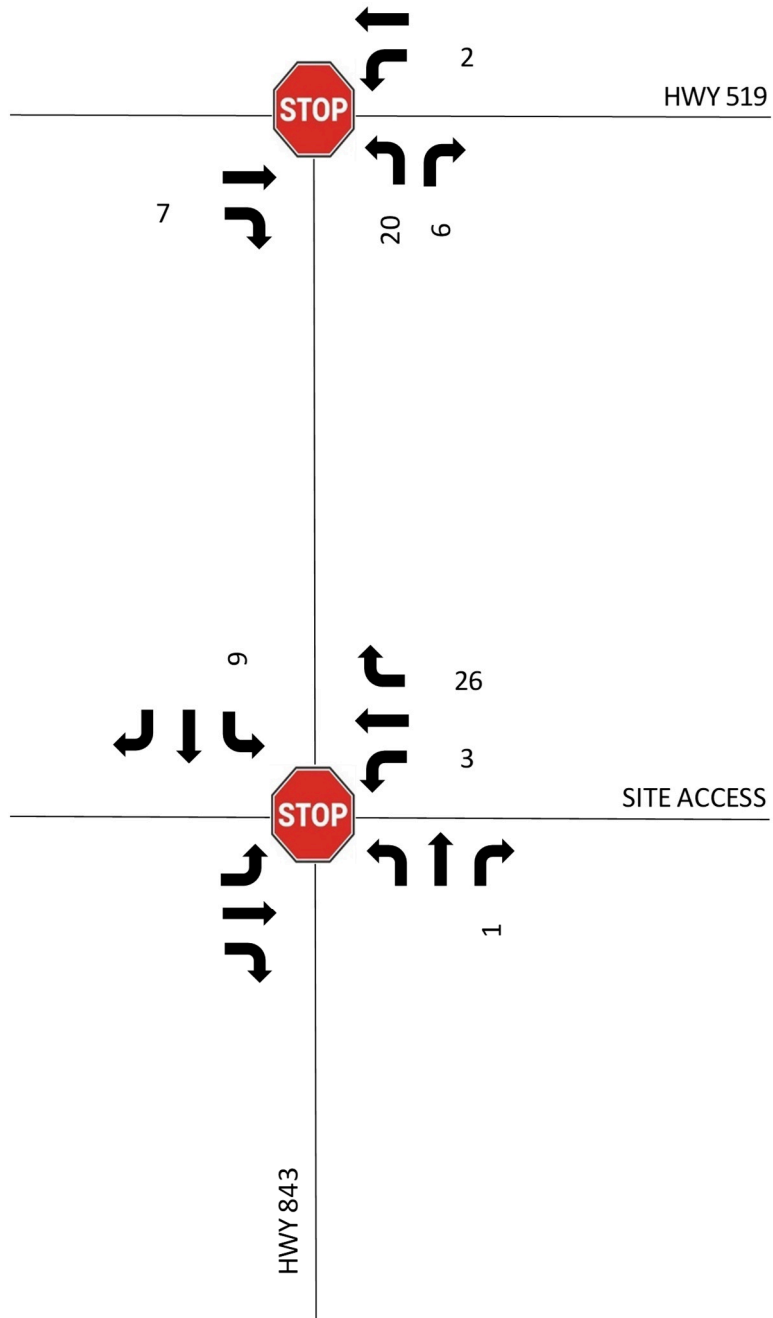


Figure 6: AM Peak Development Traffic



TRAFFIC IMPACT ASSESSMENT

Proposed Development

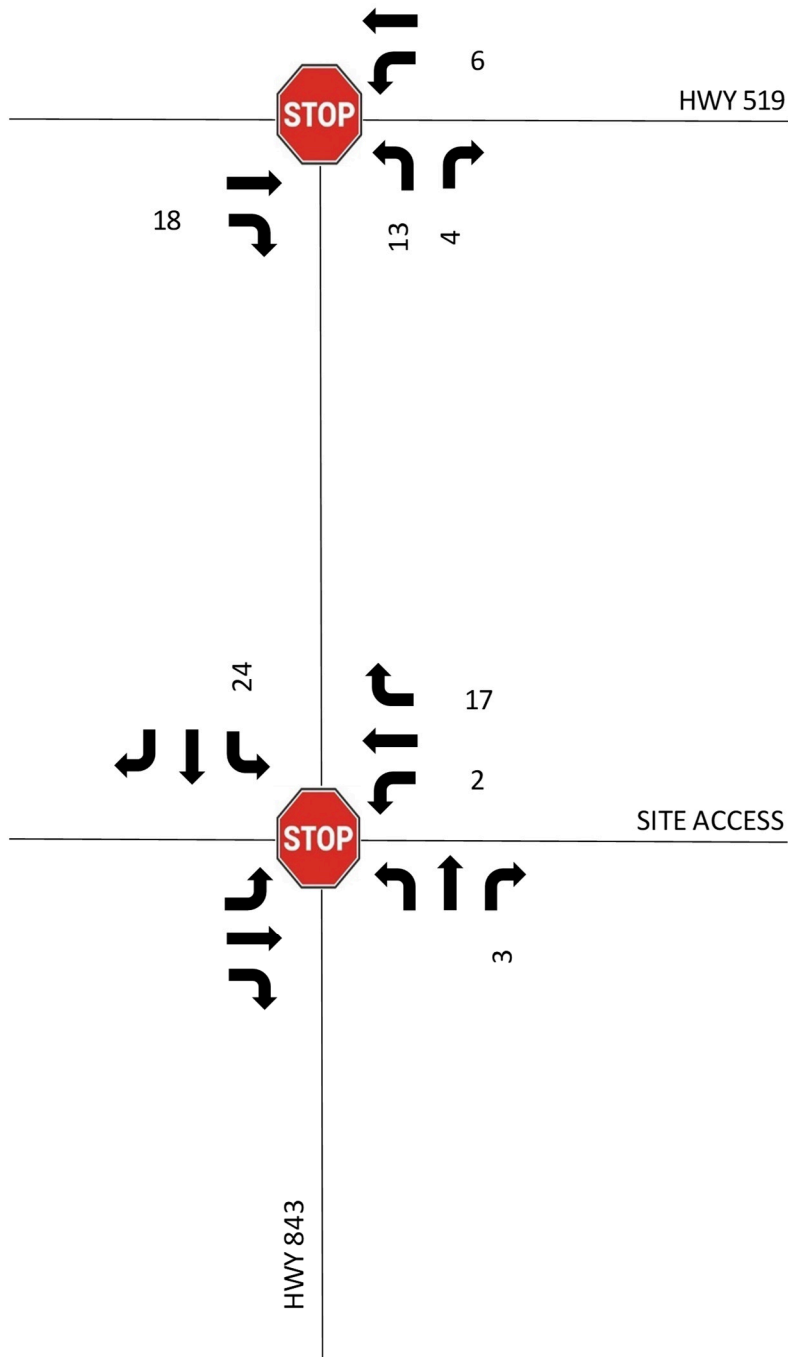
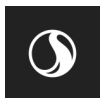


Figure 7: PM Peak Development Traffic



TRAFFIC IMPACT ASSESSMENT

Proposed Development

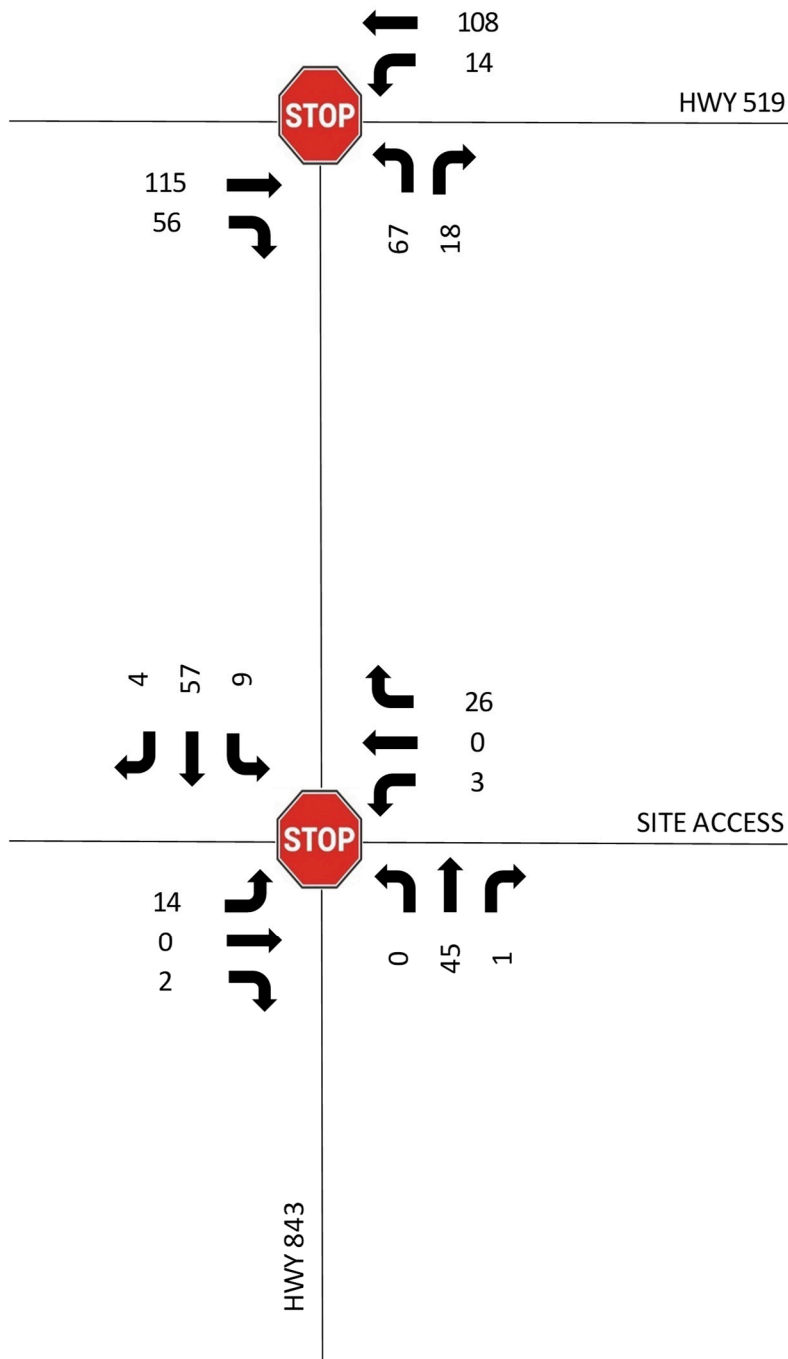


Figure 8: AM Peak Post-Development Traffic



TRAFFIC IMPACT ASSESSMENT

Proposed Development

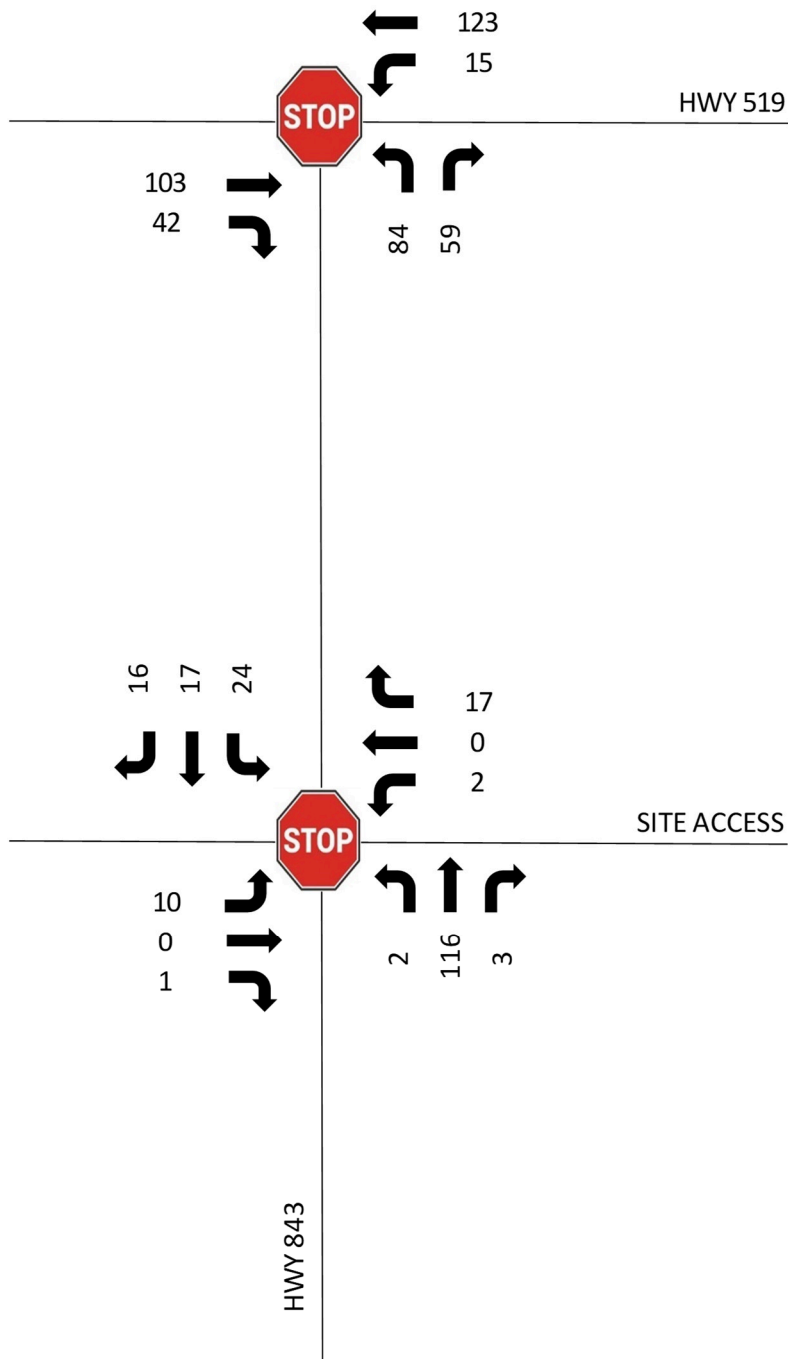
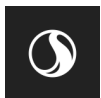


Figure 9: PM Peak Post-Development Traffic



5.0 TRANSPORTATION ASSESSMENT

5.1 INTERSECTION ANALYSIS

The intersection in the proposed site plan, as well as the intersection of Hwy 843 & Hwy 519, were analyzed for traffic operations. Traffic volumes were applied to the network and analyzed with existing geometrics and traffic control.

5.1.1 2043 Horizon Full-Build Operating Conditions

The post-development full-build operating conditions for the subject intersections in the study area were reviewed based on the existing lane configurations. The results of the analysis are summarized in **Table 5**.

The results summarized in Table 8 indicate that traffic operations will be acceptable with existing lane configurations and traffic control.

Intersection	Intersection Control	Scenario	Measure	Eastbound			Westbound			Northbound			Southbound			Level of Service
				Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right	
Highway 843 & Hwy 519	Tw o-Way Stop Control	AM Peak	Volumes (vph)		115	56	14	108		67		18				A
			Level of Service	A			A			B						
			V/C Ratio by Movement	0.11			0.01			0.13						
			95th Percentile Queue (m)	0			0.3			3.4						
		PM Peak	Volumes (vph)		103	42	15	123		84		59				A
			Level of Service	A			A			B						
			V/C Ratio by Movement	0.09			0.01			0.2						
			95th Percentile Queue (m)	0			0.3			5.8						
Highway 843 & Maple Estates	Tw o-Way Stop Control	AM Peak	Volumes (vph)	14	0	2	3	0	26	0	45	1	9	57	4	A
			Level of Service	A			A			A			A			
			V/C Ratio by Movement	0.02			0.03			0			0.01			
			95th Percentile Queue (m)	0.5			0.7			0			0.1			
		PM Peak	Volumes (vph)	10	0	1	2	0	17	2	116	3	24	17	16	A
			Level of Service	B			A			A			A			
			V/C Ratio by Movement	0.02			0.02			0			0.02			
			95th Percentile Queue (m)	0.4			0.5			0			0.4			

Table 5: Level of Service Summary for 2043 Horizon Full-Build Operating Conditions



TRAFFIC IMPACT ASSESSMENT

ATEC Intersection Treatment Warrants

6.0 ATEC INTERSECTION TREATMENT WARRANTS

Using 2022 ATEC turning movement diagrams, and a growth rate of 2%, horizon 2043 Annual Average Daily Traffic (AADT) was obtained. AADT was determined from the ITE Trip Generation Manual, 11th Edition. The resulting AADT values are provided in **Table 6**.

Roadway	AADT (2022 Background)	AADT (2043 Background)	AADT (2043 Post-Development)
Highway 519	2,140	3,244	3,631
Highway 843	780	1,182	1,698
Proposed Access	--	--	576

Table 6: Estimated AADT

As shown the table, the horizon 2043 post-development AADT for both highways is not significantly higher than the background horizon condition. Figure D-7.4 is not appropriate in this analysis, as the area is urban in nature, and the posted speed of all roadways in the study area is 50 km/h. With this low posted speed and urbanization, a Type I intersection would be appropriate at this access location. The AADT is relatively low, and coupled with the low volume of left turns, traffic is unlikely to be delayed by a left-turning vehicle. This is consistent with the adjacent access on the west side of Highway 843.



TRAFFIC IMPACT ASSESSMENT

Illumination

7.0 ILLUMINATION

Both highways are currently illuminated with continuous overhead lighting.



TRAFFIC IMPACT ASSESSMENT

Access Management

8.0 ACCESS MANAGEMENT

The residential site has been designed such that the primary access lines up with the existing access to Maple Estates. This will transform the existing 3-leg intersection into a 4-leg intersection at the current location and not create any additional access points to Highway 843.



9.0 RECOMMENDATIONS

It is recommended that an additional leg be constructed aligning with the existing north access point to Maple Estates. This should continue to be a Type I intersection, given the low AADT, speeds and urbanization. No additional improvements are recommended to the existing infrastructure through horizon year 2043.



APPENDIX A

Traffic Counts



Reference Number:
104090

Intersection of:
519 & 843 AT PICTURE BUTTE

North On:	Vehicle Type	Volume	%
	A: Passenger Vehicle	0	###
	B: Recreational Vehicle	0	###
	C: Bus	0	###
	D: Single Unit Truck	0	###
	E: Tractor Trailer Unit	0	###
	AADT	0	
	ASDT	0	

2022 AADT / ASDT Estimates		
Leg AADT Volumes		
	0	
2,140		1,860
	780	
Total Entering Volume: 2,400		

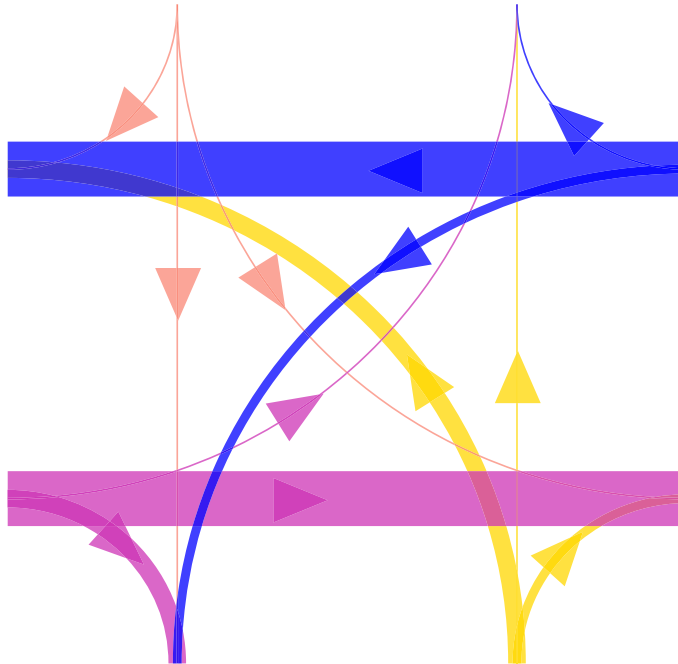
From North			
	Right	Thru	Left
	0	0	0
A	0	0	0
B	0	0	0
C	0	0	0
D	0	0	0
E	0	0	0

To North			
	Right	Thru	Left
	0	0	0
A	0	0	0
B	0	0	0
C	0	0	0
D	0	0	0
E	0	0	0

To West	
	Volume
	1,070
A	937
B	11
C	7
D	46
E	69

West On: 519	Vehicle Type	Volume	%
	A: Passenger Vehicle	1,862	87.0%
	B: Recreational Vehicle	19	0.9%
	C: Bus	15	0.7%
	D: Single Unit Truck	94	4.4%
	E: Tractor Trailer Unit	150	7.0%
	AADT	2,140	
	ASDT	2,390	

From West			
	Left	Thru	Right
	0	810	260
A	0	686	239
B	0	7	1
C	0	4	4
D	0	37	11
E	0	76	5



From East			
	Left	Thru	Right
	130	810	0
A	120	692	0
B	0	9	0
C	3	5	0
D	6	37	0
E	1	67	0

East On: 519	Vehicle Type	Volume	%
	A: Passenger Vehicle	1,614	85.9%
	B: Recreational Vehicle	17	0.9%
	C: Bus	16	0.9%
	D: Single Unit Truck	87	4.6%
	E: Tractor Trailer Unit	146	7.8%
	AADT	1,860	
	ASDT	2,090	

To East	
	Volume
	930
A	802
B	8
C	8
D	44
E	78

To South	
	Volume
	390
A	359
B	1
C	7
D	17
E	6

From South			
	Left	Thru	Right
	260	0	130
A	245	0	116
B	2	0	1
C	2	0	4
D	9	0	7
E	2	0	2

South On: 843	Vehicle Type	Volume	%
	A: Passenger Vehicle	720	92.3%
	B: Recreational Vehicle	4	0.5%
	C: Bus	13	1.7%
	D: Single Unit Truck	33	4.2%
	E: Tractor Trailer Unit	10	1.3%
	AADT	780	
	ASDT	880	

ABBREVIATIONS:

AADT: Annual Average Daily Traffic.
Average daily traffic expressed as vehicles per day for the period from January 1 to December 31 (inclusive), 365 days.

ASDT: Average Summer Daily Traffic.
Average daily traffic expressed as vehicles per day for the period from May 1 to September 30 (inclusive), 153 days.

NOTE:
Coloured line thickness corresponds to turning movement volume.

Reference Number:
104090

Intersection of:
519 & 843 AT PICTURE BUTTE

Vehicle Type	Volume	%
A: Passenger Vehicle	0	####
B: Recreational Vehicle	0	####
C: Bus	0	####
D: Single Unit Truck	0	####
E: Tractor Trailer Unit	0	####

AM **0**

2022 AM 100th Highest Hour Estimates

Leg AM Volumes	
0	163
210	79
Total Entering Volume: 226	

From North			
	0		
	Right	Thru	Left
	0	0	0
A	0	0	0
B	0	0	0
C	0	0	0
D	0	0	0
E	0	0	0

To North	
	0
A	0
B	0
C	0
D	0
E	0

To West	
	102
A	78
B	2
C	2
D	10
E	10

From East			
	79		
	Left	Thru	Right
	8	71	0
A	7	56	0
B	0	2	0
C	0	1	0
D	0	4	0
E	1	8	0

West On: 519

Vehicle Type	Volume	%
A	171	81.4%
B	3	1.4%
C	2	1.0%
D	19	9.0%
E	15	7.1%

AM **210**

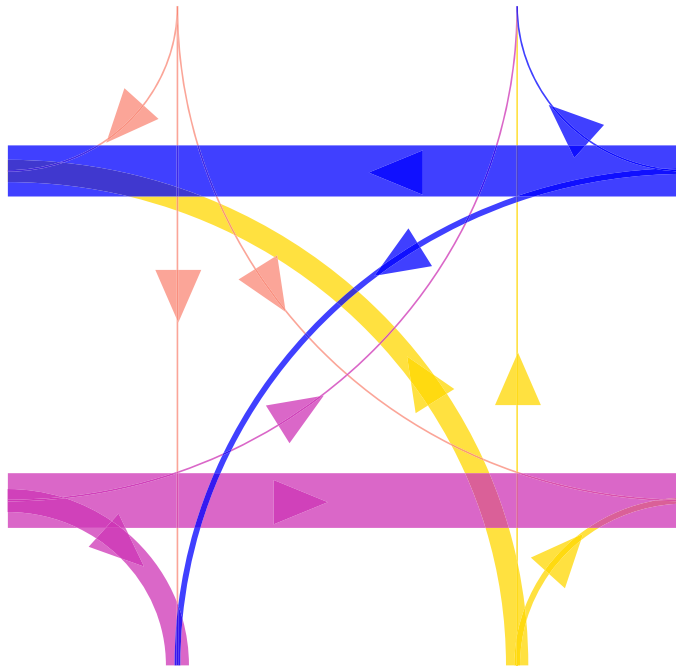
East On: 519

Vehicle Type	Volume	%
A	135	82.8%
B	3	1.8%
C	1	0.6%
D	10	6.1%
E	14	8.6%

AM **163**

From West			
	108		
	Left	Thru	Right
	0	76	32
A	0	65	28
B	0	1	0
C	0	0	0
D	0	5	4
E	0	5	0

To East	
	84
A	72
B	1
C	0
D	6
E	5



To South	
	40
A	35
B	0
C	0
D	4
E	1

From South			
	39		
	Left	Thru	Right
	31	0	8
A	22	0	7
B	0	0	0
C	1	0	0
D	6	0	1
E	2	0	0

South On: 843

Vehicle Type	Volume	%
A: Passenger Vehicle	64	81.0%
B: Recreational Vehicle	0	0.0%
C: Bus	1	1.3%
D: Single Unit Truck	11	13.9%
E: Tractor Trailer Unit	3	3.8%

AM **79**

NOTE:
Coloured line thickness corresponds to turning movement volume.

Reference Number:
104090

Intersection of:
519 & 843 AT PICTURE BUTTE

North On:	Vehicle Type	Volume	%
	A: Passenger Vehicle	0	###
	B: Recreational Vehicle	0	###
	C: Bus	0	###
	D: Single Unit Truck	0	###
	E: Tractor Trailer Unit	0	###
		PM	0

2022 PM 100th Highest Hour Estimates		
Leg PM Volumes		
	0	
212		191
	105	
Total Entering Volume: 254		

From North			
	0		
	Right	Thru	Left
	0	0	0
A	0	0	0
B	0	0	0
C	0	0	0
D	0	0	0
E	0	0	0

To North			
	0		
A	0		
B	0		
C	0		
D	0		
E	0		

To West	
	128
A	113
B	2
C	0
D	2
E	11

West On: 519		
Vehicle Type	Volume	%
A	188	88.7%
B	3	1.4%
C	2	0.9%
D	3	1.4%
E	16	7.5%
		PM
		212

From West			
	84		
	Left	Thru	Right
	0	68	16
A	0	60	15
B	0	1	0
C	0	1	1
D	0	1	0
E	0	5	0

From East			
	87		
	Left	Thru	Right
	6	81	0
A	6	66	0
B	0	2	0
C	0	0	0
D	0	2	0
E	0	11	0

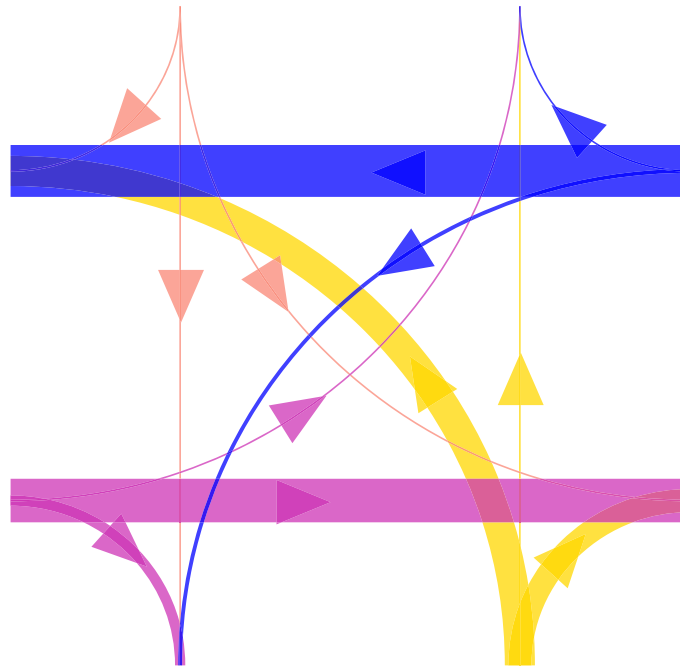
East On: 519		
Vehicle Type	Volume	%
A	166	86.9%
B	3	1.6%
C	2	1.0%
D	4	2.1%
E	16	8.4%
		PM
		191

To East	
	104
A	94
B	1
C	2
D	2
E	5

To South	
	22
A	21
B	0
C	1
D	0
E	0

From South			
	83		
	Left	Thru	Right
	47	0	36
A	47	0	34
B	0	0	0
C	0	0	1
D	0	0	1
E	0	0	0

South On: 843	Vehicle Type	Volume	%
	A: Passenger Vehicle	102	97.1%
	B: Recreational Vehicle	0	0.0%
	C: Bus	2	1.9%
	D: Single Unit Truck	1	1.0%
	E: Tractor Trailer Unit	0	0.0%
		PM	105



NOTE:
Coloured line thickness corresponds to turning movement volume.

APPENDIX B

Synchro Output



Intersection						
Int Delay, s/veh	2.1					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	115	49	12	108	47	12
Future Vol, veh/h	115	49	12	108	47	12
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	8	8	8	8	4	4
Mvmt Flow	125	53	13	117	51	13

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	178	0	295
Stage 1	-	-	-	-	152
Stage 2	-	-	-	-	143
Critical Hdwy	-	-	4.18	-	6.44
Critical Hdwy Stg 1	-	-	-	-	5.44
Critical Hdwy Stg 2	-	-	-	-	5.44
Follow-up Hdwy	-	-	2.272	-	3.536
Pot Cap-1 Maneuver	-	-	1362	-	692
Stage 1	-	-	-	-	871
Stage 2	-	-	-	-	879
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	1362	-	685
Mov Cap-2 Maneuver	-	-	-	-	685
Stage 1	-	-	-	-	871
Stage 2	-	-	-	-	870

Approach	EB	WB	NB
HCM Control Delay, s	0	0.8	10.5
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	719	-	-	1362	-
HCM Lane V/C Ratio	0.089	-	-	0.01	-
HCM Control Delay (s)	10.5	-	-	7.7	0
HCM Lane LOS	B	-	-	A	A
HCM 95th %tile Q(veh)	0.3	-	-	0	-

Intersection						
Int Delay, s/veh	1.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	14	2	0	45	57	4
Future Vol, veh/h	14	2	0	45	57	4
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	4	4
Mvmt Flow	15	2	0	49	62	4

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	113	64	66	0	-	0
Stage 1	64	-	-	-	-	-
Stage 2	49	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	884	1000	1536	-	-	-
Stage 1	959	-	-	-	-	-
Stage 2	973	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	884	1000	1536	-	-	-
Mov Cap-2 Maneuver	884	-	-	-	-	-
Stage 1	959	-	-	-	-	-
Stage 2	973	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9.1	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1536	-	897	-	-
HCM Lane V/C Ratio	-	-	0.019	-	-
HCM Control Delay (s)	0	-	9.1	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Intersection						
Int Delay, s/veh	3.6					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	103	24	9	123	71	55
Future Vol, veh/h	103	24	9	123	71	55
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	8	8	8	8	4	4
Mvmt Flow	112	26	10	134	77	60

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	138	0	279
Stage 1	-	-	-	-	125
Stage 2	-	-	-	-	154
Critical Hdwy	-	-	4.18	-	6.44
Critical Hdwy Stg 1	-	-	-	-	5.44
Critical Hdwy Stg 2	-	-	-	-	5.44
Follow-up Hdwy	-	-	2.272	-	3.536
Pot Cap-1 Maneuver	-	-	1410	-	707
Stage 1	-	-	-	-	896
Stage 2	-	-	-	-	869
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	1410	-	701
Mov Cap-2 Maneuver	-	-	-	-	701
Stage 1	-	-	-	-	896
Stage 2	-	-	-	-	862

Approach	EB	WB	NB
HCM Control Delay, s	0	0.5	10.6
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	782	-	-	1410	-
HCM Lane V/C Ratio	0.175	-	-	0.007	-
HCM Control Delay (s)	10.6	-	-	7.6	0
HCM Lane LOS	B	-	-	A	A
HCM 95th %tile Q(veh)	0.6	-	-	0	-

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	1	2	116	17	16
Future Vol, veh/h	10	1	2	116	17	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	4	4	4	4
Mvmt Flow	11	1	2	126	18	17

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	157	27	35	0	0
Stage 1	27	-	-	-	-
Stage 2	130	-	-	-	-
Critical Hdwy	6.42	6.22	4.14	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.236	-	-
Pot Cap-1 Maneuver	834	1048	1563	-	-
Stage 1	996	-	-	-	-
Stage 2	896	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	833	1048	1563	-	-
Mov Cap-2 Maneuver	833	-	-	-	-
Stage 1	995	-	-	-	-
Stage 2	896	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9.3	0.1	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1563	-	849	-	-
HCM Lane V/C Ratio	0.001	-	0.014	-	-
HCM Control Delay (s)	7.3	0	9.3	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

Intersection						
Int Delay, s/veh	2.7					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	115	56	14	108	67	18
Future Vol, veh/h	115	56	14	108	67	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	8	8	8	8	4	4
Mvmt Flow	125	61	15	117	73	20

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	186	0	303
Stage 1	-	-	-	-	156
Stage 2	-	-	-	-	147
Critical Hdwy	-	-	4.18	-	6.44
Critical Hdwy Stg 1	-	-	-	-	5.44
Critical Hdwy Stg 2	-	-	-	-	5.44
Follow-up Hdwy	-	-	2.272	-	3.536
Pot Cap-1 Maneuver	-	-	1353	-	685
Stage 1	-	-	-	-	867
Stage 2	-	-	-	-	876
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	1353	-	677
Mov Cap-2 Maneuver	-	-	-	-	677
Stage 1	-	-	-	-	867
Stage 2	-	-	-	-	865

Approach	EB	WB	NB
HCM Control Delay, s	0	0.9	10.8
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	712	-	-	1353	-
HCM Lane V/C Ratio	0.13	-	-	0.011	-
HCM Control Delay (s)	10.8	-	-	7.7	0
HCM Lane LOS	B	-	-	A	A
HCM 95th %tile Q(veh)	0.4	-	-	0	-

Intersection												
Int Delay, s/veh	2.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	14	0	2	3	0	26	0	45	1	9	57	4
Future Vol, veh/h	14	0	2	3	0	26	0	45	1	9	57	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	4	4
Mvmt Flow	15	0	2	3	0	28	0	49	1	10	62	4

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	148	134	64	135	136	50	66	0	0	50	0	0
Stage 1	84	84	-	50	50	-	-	-	-	-	-	-
Stage 2	64	50	-	85	86	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	820	757	1000	836	755	1018	1536	-	-	1557	-	-
Stage 1	924	825	-	963	853	-	-	-	-	-	-	-
Stage 2	947	853	-	923	824	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	793	752	1000	829	750	1018	1536	-	-	1557	-	-
Mov Cap-2 Maneuver	793	752	-	829	750	-	-	-	-	-	-	-
Stage 1	924	819	-	963	853	-	-	-	-	-	-	-
Stage 2	921	853	-	915	818	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	9.5		8.7		0		0.9	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1536	-	-	814	995	1557	-	-
HCM Lane V/C Ratio	-	-	-	0.021	0.032	0.006	-	-
HCM Control Delay (s)	0	-	-	9.5	8.7	7.3	0	-
HCM Lane LOS	A	-	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0.1	0.1	0	-	-

Intersection

Int Delay, s/veh 4

Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	103	42	15	123	84	59
Future Vol, veh/h	103	42	15	123	84	59
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	8	8	8	8	4	4
Mvmt Flow	112	46	16	134	91	64

Major/Minor	Major1	Major2	Minor1	Minor2	Minor3
Conflicting Flow All	0	0	158	0	301
Stage 1	-	-	-	-	135
Stage 2	-	-	-	-	166
Critical Hdwy	-	-	4.18	-	6.44
Critical Hdwy Stg 1	-	-	-	-	5.44
Critical Hdwy Stg 2	-	-	-	-	5.44
Follow-up Hdwy	-	-	2.272	-	3.536
Pot Cap-1 Maneuver	-	-	1386	-	686
Stage 1	-	-	-	-	886
Stage 2	-	-	-	-	859
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	1386	-	678
Mov Cap-2 Maneuver	-	-	-	-	678
Stage 1	-	-	-	-	886
Stage 2	-	-	-	-	849

Approach	EB	WB	NB
HCM Control Delay, s	0	0.8	11
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	757	-	-	1386	-
HCM Lane V/C Ratio	0.205	-	-	0.012	-
HCM Control Delay (s)	11	-	-	7.6	0
HCM Lane LOS	B	-	-	A	A
HCM 95th %tile Q(veh)	0.8	-	-	0	-

Intersection												
Int Delay, s/veh	2.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	10	0	1	2	0	17	2	116	3	24	17	16
Future Vol, veh/h	10	0	1	2	0	17	2	116	3	24	17	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	4	4	2	2	4	4
Mvmt Flow	11	0	1	2	0	18	2	126	3	26	18	17

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	220	212	27	211	219	128	35	0	0	129	0	0
Stage 1	79	79	-	132	132	-	-	-	-	-	-	-
Stage 2	141	133	-	79	87	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.14	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.236	-	-	2.218	-	-
Pot Cap-1 Maneuver	736	685	1048	746	679	922	1563	-	-	1457	-	-
Stage 1	930	829	-	871	787	-	-	-	-	-	-	-
Stage 2	862	786	-	930	823	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	711	672	1048	734	666	922	1563	-	-	1457	-	-
Mov Cap-2 Maneuver	711	672	-	734	666	-	-	-	-	-	-	-
Stage 1	929	814	-	870	786	-	-	-	-	-	-	-
Stage 2	844	785	-	912	808	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	10	9.1	0.1	3.2
HCM LOS	B	A		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1563	-	-	732	898	1457	-	-
HCM Lane V/C Ratio	0.001	-	-	0.016	0.023	0.018	-	-
HCM Control Delay (s)	7.3	0	-	10	9.1	7.5	0	-
HCM Lane LOS	A	A	-	B	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0.1	0.1	0.1	-	-

Received 23 February 2024. - UTVZ.

NOTICE OF PUBLIC HEARING By Law 943-24
(FBC 942.-24)

SUGGESTION... FOR FUTURISTIC PURPOSES.

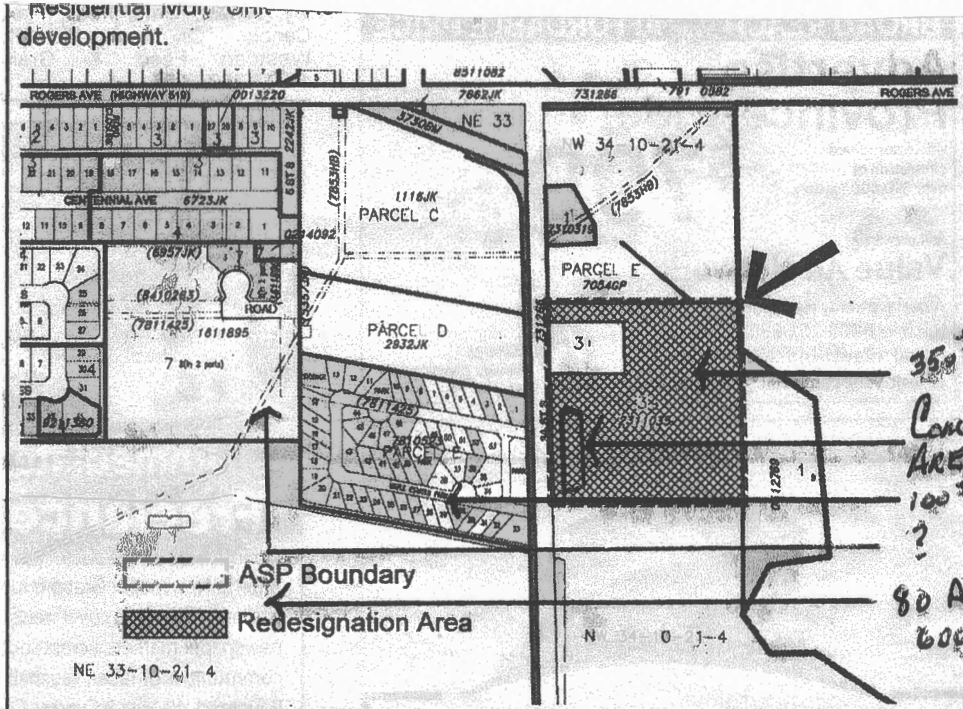
FROM PROPERTY IN QUESTION, THAT CONSIDERATION OF HI-WAY 843 FRONTAGE (OR A PORTION) BE ALLOCATED TO COMMERCIAL DESIGNATED. WITH A SERVICE ROAD PROVISION.

IN ADDITION, WITH COMMERCIAL EXUNITIES AT GROUND LEVEL, A SECOND FLOOR BE INCORPORATED FOR APARTMENT LIVING. THIS IN TURN WOULD PROVIDE DIVERSITY FOR SAKE OF CHOICE LIFESTYLE.

THAT SIDEWALKS IN THIS AREA CONNECTING THE COMMUNITY BE AT A MINIMUM IN THE PLANNING STAGE.

ARE THERE POSSIBILITIES THAT WITH LAND RESERVE, THIS AREA BE TRANSFERRED IN THE HANDS OF THE TOWN?

SHOULD BE MENTIONED ONCE AGAIN. THAT IT HOLDS FUTURISTIC GOALS & VALUES.



350+ CITIZENS
 COMMERCIAL AREA
 100+ CITIZENS
 ?
 80 ACRES
 600 HOMES
 1200 CITIZENS

How to Submit Comments

If you would like to submit comments or require further information on this proposed bylaw please email keith@picturebutte.ca or call 403-732-4555, during normal business hours.

Please forward written submissions on or before **February 21 at 4:00 PM.**

How to Attend or View the Public Hearing

A public hearing to consider the proposed Bylaws will be held in person in Council Chambers at the Town office 6:30 p.m. on **February 26, 2024.**

If you would like to speak at the public hearing or listen in, please contact Keith Davis at keith@picturebutte.ca by 3:30 p.m. on **February 26, 2024.**

DATED at the Town of Picture Butte in the province of Alberta this 8th day of February 2024.

Keith Davis
 Chief Administrative Officer
 Town of Picture Butte

*DEVELOP
 HIGHWAY FRONTAGE
 OR A PORTION OF
 COMMERCIAL
 SERVICE POSSIBLE - 300+ IN SUB
 - 100+ IN TRAILER COURT
 - FUTURE RESIDENTIAL
 ATSW - SCHOOL*

PUBLIC HEARING FOR 943-24

TOWN OF PICTURE BUTTE IN THE PROVINCE OF ALBERTA BYLAW NO. 943-24

A BYLAW OF THE TOWN OF PICTURE BUTTE IN THE PROVINCE OF ALBERTA, TO AMEND BYLAW NO. 841-15, BEING THE MUNICIPAL LAND USE BYLAW.

WHEREAS the purpose of the proposed amendment is to redesignate land legally described as: Lots 2, Block 3, Plan 2311035, from 'Urban Reserve – UR' to 'Residential Multi-unit – R5', as shown on the map in Schedule 'A' attached hereto to accommodate the development of a multi-unit rowhouse residential building;

AND WHEREAS a Public Hearing, as required by Section 692 of the Municipal Government Act, will be held prior to second reading of this Bylaw;

NOW THEREFORE, under the authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council of the Town of Picture Butte, in the Province of Alberta, duly assembled does hereby enact the following:

1. The land described as Lot 2, Block 3, Plan 2311035 as shown on the attached Schedule 'A' be designated as Residential Multi-unit – R5.
2. That the Land Use Districts map of the Town of Picture Butte Land Use Bylaw No. 841-15 be amended to reflect this designation.
3. Bylaw No. 841-15 being the Land Use Bylaw is hereby amended.
4. Final formatting and consolidation shall take place following the passage of the bylaw.
5. This bylaw comes into effect upon third and final reading hereof.

READ a **first** time this day of February 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

READ a **second** time this ____ day of _____ 2024.

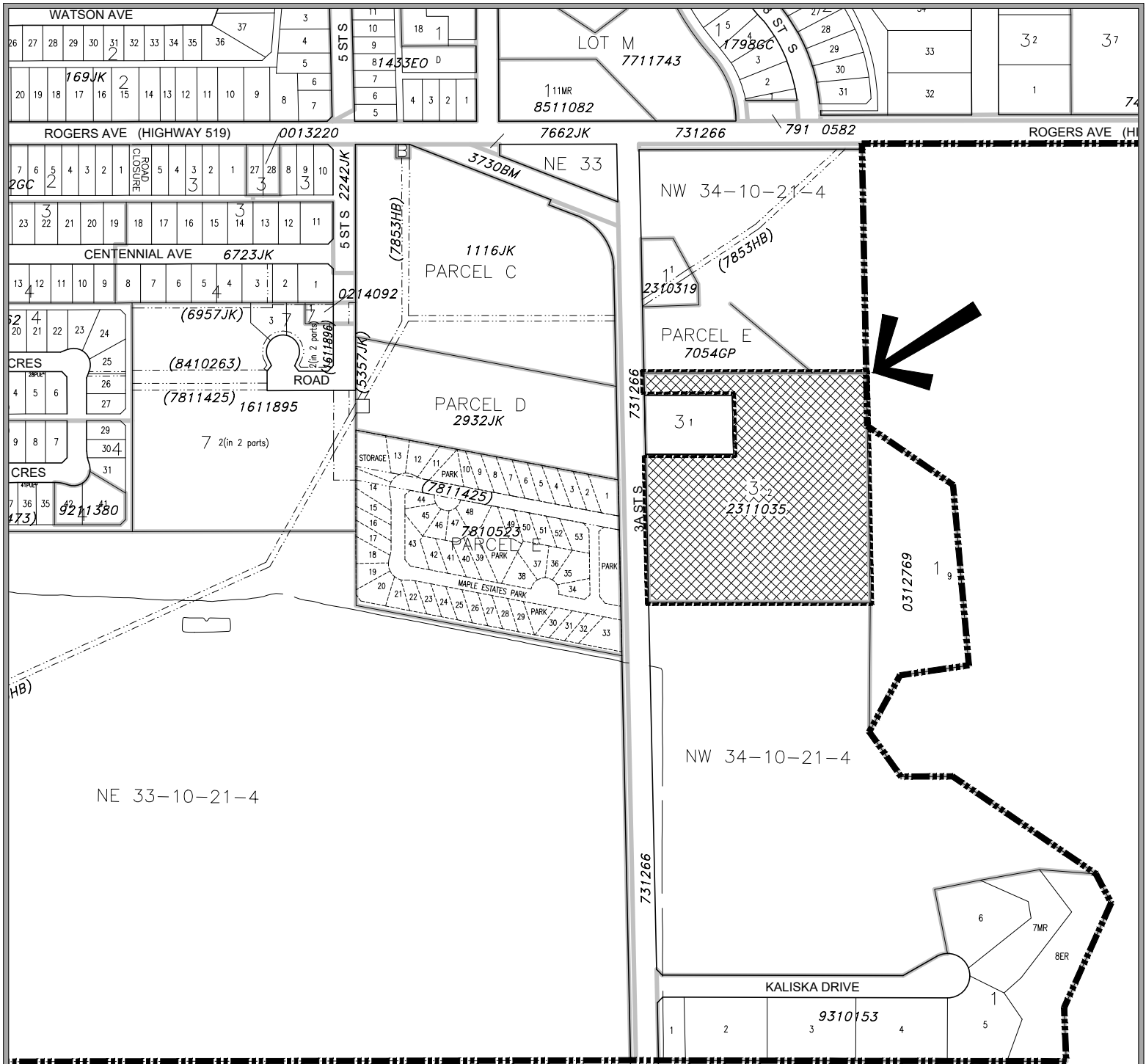
Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis

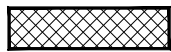
READ a **third** time and finally passed this ____ day of _____ 2024.

Mayor – Cathy Moore

Chief Administrative Officer – Keith Davis



LAND USE DISTRICT REDESIGNATION SCHEDULE 'A'



FROM: URBAN RESERVE – UR
TO: RESIDENTIAL MULTI-UNIT – R5

LOT 2, BLOCK 3, PLAN 2311035
WITHIN NW 1/4 SEC 34, TWP 10, RGE 21, W 4 M
MUNICIPALITY: TOWN OF PICTURE BUTTE
DATE: JANUARY 26, 2024

Bylaw #: 943-24
Date: _____



MAP PREPARED BY:
OLDMAN RIVER REGIONAL SERVICES COMMISSION
3105 16th AVENUE NORTH, LETHBRIDGE, ALBERTA T1H 5E8
TEL. 403-329-1344

"NOT RESPONSIBLE FOR ERRORS OR OMISSIONS"



January 31, 2024

S/Sgt. Mike Numan
Detachment Commander
Picture Butte, Alberta.

Dear Mayor Moore,

Please find the quarterly Community Policing Report attached that covers the October 1st to December 31st, 2023 reporting period. The attached report serves to provide a quarterly snapshot of the human resources, financial data and crime statistics for the Picture Butte Detachment.

I would also like to update you on one of our current technological endeavours. Over the last decade, the RCMP has utilized Remotely Piloted Aircraft Systems (RPAS) to support our specialized units, i.e. our Emergency Response Teams – which has been incredibly effective for enhancing police and public safety. Although the advancement of technology benefits industry and recreation, it facilitates greater accessibility for criminals, which requires a strategic response. To remain current in our ever-changing environment, and to be responsive to public reviews that call for better access to air support such as the Nova Scotia Mass Casualty Commission of Inquiry, we are actively researching and testing new technologies in a policing environment to enhance public safety. One such technology is how we might use RPAS for potential new police applications. This includes how we might use RPAS to assist with select calls for service, crime photography, search and rescue, and unfolding critical incidents, i.e. an active shooter. With its potential and capability for wider applications, we are further considering program options for our municipal, rural, and Indigenous communities; scalable depending on community need and interest. While we will always need a helicopter and fixed-wing aircraft for the movement of resources, these larger assets are not always immediately available. RPAS technology is providing an opportunity for our communities to effectively have their own police air support, at a significantly lower cost. As I learn more about further opportunities and challenges, I will be sure to keep you updated and informed.

Your ongoing engagement and the feedback you provide guides our Detachment team, and supports the reinforcement of your policing priorities. I always remain available to discuss your community-identified policing priorities and/or any ideas you may have that will enhance our service delivery to address the priorities that are important to you. As the Chief of Police for your community, I invite you to contact me should you have any questions or concerns.

Mike Numan

S/Sgt. Mike Numan
Detachment Commander
Coaldale - Picture Butte



RCMP Provincial Policing Report

Detachment	Picture Butte
Detachment Commander	S/Sgt. Mike NUMAN
Quarter	Q3
FTE Utilization Plan	2023/24
Date of Report	January 31, 2024

Community Consultations

Date	2023-11-16 3:00:00 PM
Meeting Type	Community Connection
Topics Discussed	Victim Services
Notes/Comments	Coaldale Picture Butte Detachment attended the Monthly Intel Sharing Telecon. with all Southern AB agencies and Police departments. Shared intel and discussed High Risk offenders from each area. Productive and positive interactions with our partners.

Date	2023-11-01 7:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Crime Reduction Initiatives
Notes/Comments	Members from Picture Butte RCMP attended monthly High Risk Offender Meeting at Lethbridge Police. There were stakeholders from all Local Police Agencies, Parole, Probation, Corrections Canada, and other agencies collaborated and discussed High Risk offenders in there area.



Date	2023-11-08 5:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Crime Reduction Initiatives
Notes/Comments	RCMP Detachment member attended a virtual telecon discussing and sharing Intel with all local law enforcement agencies. Productive collaboration and discussions, planning and inter-agency teamwork to occur.

Date	2023-11-16 3:00:00 PM
Meeting Type	Community Connection
Topics Discussed	Victim Services
Notes/Comments	RCMP Detachment member attended a breakfast meeting with Coaldale Victim Services. Many agencies in attendance including RCMP, LPS, VSU, DVAT, Shelter and other provincial agencies. Information sharing and networking completed.

Date	2023-11-23 8:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Crime Reduction Initiatives
Notes/Comments	RCMP Detachment member attended virtual D2A monthly meeting. Updates provided by all parties involved and good information sharing and progress with the program. Continued support from Southern Alberta Crime Reduction Unit and Analyst.

Date	2023-12-01 11:00:00 PM
Meeting Type	Community Connection
Topics Discussed	Education Session
Notes/Comments	The detachment hosted a Boston Pizza Cops Pops and Pizza in Lethbridge. Members greeted the public as they entered Boston Pizza and then worked along side the servers and athletes bringing food, clearing the tables and collecting donations for Special Olympics Alberta. The event was a huge success and the Total Amount Raised: \$5073.00



Date	2023-12-02 2:00:00 AM
Meeting Type	Community Connection
Topics Discussed	Victim Services
Notes/Comments	The Lethbridge Hurricane's hockey team contacted VSU for help with their annual Teddy Bear Toss. The RCMP provided a cruiser and 2 officers to drive onto the ice and assist with collecting the stuffed animals. The teddy bear toss went well tonight. 2 RCMP Detachment members were able to attend and VSU was there as well. Response from the public was positive and we were able to transport hundreds of bears back to the office for VSU.

Date	2023-12-06 5:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Crime Reduction Initiatives
Notes/Comments	RCMP Detachment member attended the virtual monthly Intel meeting with Southern Alberta District and all Detachments and other police agencies in the south part of the province. Discussed prolific offenders and shared information to support each other.

Date	2023-12-06 8:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Regular reporting information sharing
Notes/Comments	RCMP Detachment member met with Coaldale and District Regional Fire Chief, Deputy Chief, and Bruno Cornejo (Trace Associates) that is a company tasked with assessing risk to several area's for the County of Lethbridge/Picture Butte as required by the GOA.



Date	2023-12-19 9:40:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Education Session
Notes/Comments	RCMP Detachment member spoke with Andrea, Family Liasion for the St. Catherine School to discuss protocols and requesting/sharing information from Police.

Date	2023-12-21 4:00:00 PM
Meeting Type	Meeting with Elected Officials
Topics Discussed	Regular reporting information sharing
Notes/Comments	RCMP Detachment member attended Lethbridge County Counsel meeting and presented Q2 community stats.

Date	2023-11-10 5:00:00 PM
Meeting Type	Meeting with Stakeholder(s)
Topics Discussed	Youth
Notes/Comments	RCMP Detachment member attended the Picture Butte High School to take part in their Remembrance Day Ceremony. He wore Red Serge and participated in the ceremony at the school gym and then walked to the cenotaph.

Date	2023-11-11 5:00:00 PM
Meeting Type	Community Connection
Topics Discussed	Diversity
Notes/Comments	RCMP Detachment member and 2 RCMP Veterans attended the Picture Butte Remembrance Day Ceremony in Red Serge and took part in the event.



Date	2023-11-24 7:01:00 PM
Meeting Type	Meeting with Elected Officials
Topics Discussed	Regular reporting information sharing
Notes/Comments	RCMP Detachment member met with Lethbridge County CAO, Cole Beck. Re-occurring meeting to ensure we keep a good working relationship and information sharing.

Date	2023-10-13
Meeting Type	Town Hall
Topics Discussed	Regular reporting information sharing
Notes/Comments	RCMP Detachment members attended the Nobleford community center for a Town Hall meeting followed by a presentation/demonstration with the Police service dog by a Member. Mayor and counsel also provided Pizza and Pop for all those attending. A RCMP Member spoke to approximately 250 people that were in attendance about the detachment, our priorities and what they would like to see as priorities in their community. RCMP Detachment member did their presentation and demo and was followed up with question and answer session. After the official presentation we spoke to many people who shared their views, concerns, and general conversations.

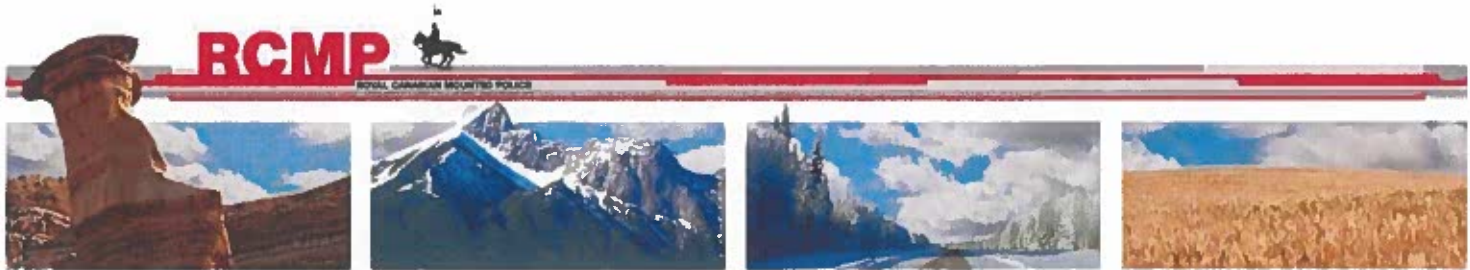
Date	2023-11-11 5:00:00 PM
Meeting Type	Community Connection
Topics Discussed	Diversity
Notes/Comments	RCMP Detachment member attended the Remembrance Day Ceremonies at the Town of Nobleford. He wore Red Serge and took part in the ceremony. Approximately 150 people in attendance that he interacted with.

Date	2023-11-29 1:30:00 PM
Meeting Type	Town Hall
Topics Discussed	Education Session
Notes/Comments	Member attend Picture Butte Town Hall/Coffee with Counsel and a Cop session.



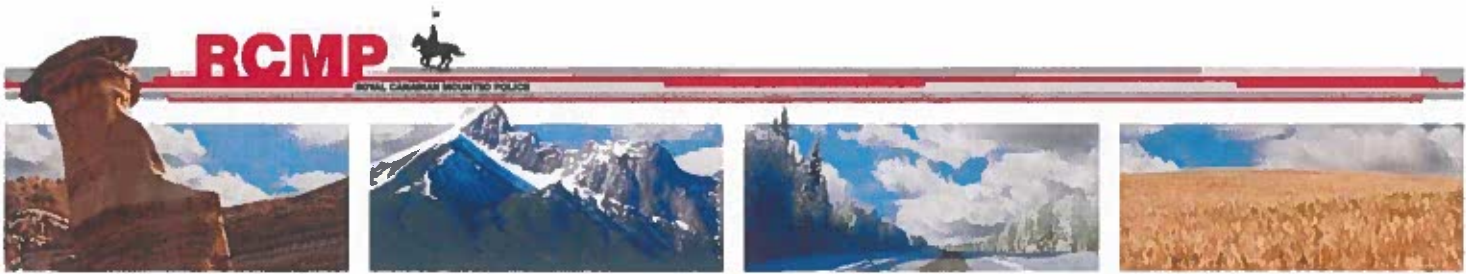
Notes/Comments Presentation to 40 people by RCMP Detachment member and PDS Member, another RCMP Member also attended and interacted with the attendees. Followed by question and answer session over coffee with the mayor, counsel and the public. Discussed was concerns, solutions and crime prevention techniques.

Date	2023-12-19 1:30:00 AM
Meeting Type	Meeting with Elected Officials
Topics Discussed	Regular reporting information sharing
Notes/Comments	RCMP Detachment member attended Picture Butte Town Counsel meeting and presented Q2 community stats.



Community Priorities

<p>Priority 1</p>	<p>Enhance Road Safety</p>
<p>Current Status & Results</p>	<p>Two cooperative checkstops completed in December with the assistance of Sheriffs, Traffic Section, VSU, and MADD. Three of the traffic calendar objectives met for October (pedestrian safety - patrols and walk-a-thons), November (child safety seats - routine stops and patrols), and December (impaired driving - various checkstops). This objective was a success for this quarter and we are on track to meet or exceed this objective at this time.</p>
<p>Priority 2</p>	<p>Contribute to relationship building</p>
<p>Current Status & Results</p>	<p>As shown by the number of community interactions noted above, we have significantly exceeded the targets for this objective for the year already. That said, continued increases are expected for the final quarter and this will continue to be a priority for the upcoming year.</p>
<p>Priority 3</p>	<p>Enhance Awareness and Education</p>
<p>Current Status & Results</p>	<p>This past quarter various members have participated in monthly intel meetings hosted by SADCRU as well as LPS and D2A. The meetings and efforts coming from those have been very successful at identifying key offenders and directing targeted enforcement. This has resulted in charges, search warrants, property recovery, and has had an impact on our most prolific offenders. This past quarter has also seen public awareness session on vehicle theft, cold-start, the use of steering wheel clubs, the safe exchange of goods at the detachment parking lot for online purchases, and continued support for CAPTURE. We have already exceeded this objective and further success in the last quarter is anticipated.</p>



Crime Statistics¹

The following table provides policing statistics on actual offences within the periods listed. Please see Appendix for additional information and a five-year comparison.

Category	October - December			January - December		
	2022	2023	% Change Year-over-Year	2022	2023	% Change Year-over-Year
Total Criminal Code	55	50	-9%	303	257	-15%
<i>Persons Crime</i>	12	7	-42%	59	57	-3%
<i>Property Crime</i>	29	40	38%	171	163	-5%
<i>Other Criminal Code</i>	14	3	-79%	73	37	-49%
Traffic Offences						
<i>Criminal Code Traffic</i>	1	1	0%	3	5	67%
<i>Provincial Code Traffic</i>	53	71	34%	367	269	-27%
<i>Other Traffic</i>	1	0	-100%	1	2	100%
CDSA Offences	0	0		1	0	-100%
Other Federal Acts	0	0		4	3	-25%
Other Provincial Acts	23	19	-17%	108	78	-28%
Municipal By-Laws	2	0	-100%	13	5	-62%
Motor Vehicle Collisions	32	39	22%	106	112	6%

1. Data extracted from a live database (PROS) and is subject to change over time.

Trends/Points of Interest

Quarter 3 objectives and goals were all met and some even exceeded our expectations. We continue to work hard with our staffing partners to ensure that all our position are filled with operational police officers. I am proud of the hard work and accomplishments made during this past year despite being short staffed, it goes to show the dedication and commitment our members have towards the communities we serve. We look forward to a new Sergeant - Operations NCO, starting at the detachment towards the end of March 2024. As we have discussed in our in-person mayor and council meetings we continue to see an increase in the property crime numbers during this quarter. We are continuing to combat these crime types by targeting the known prolific offenders and educating the public on how to better protect their property. S/Sgt. Mike Numan - Coaldale-Picture Butte Detachment Commander.



Provincial Police Service Composition Table²

Staffing Category	Established Positions	Working	Soft Vacancies ³	Hard Vacancies ⁴
Police Officers	5	5	4	0
Detachment Support	2	1	1	0

2. Data extracted on December 31, 2023 and is subject to change.

3. Soft Vacancies are positions that are filled but vacant due to maternity/paternity leave, medical leave, etc. and are still included in the overall FTE count.

4. Hard Vacancies reflect positions that do not have an employee attached and need to be filled.

Comments

Police Officers: Of the five established positions, five officers are currently working with four officers on special leave (Four Medical). Some positions have been backfilled to ensure coverage, and one position has two officers assigned to it. There are no hard vacancies.

Detachment Support: Of the two established positions, one resource is working and one resources is on special leave (Leave Without Pay). There are currently no hard vacancies.

Quarterly Financial Drivers

This past quarter continued to be a somewhat of a challenge from a human resource perspective. Due to a variety of health reasons and other special leave, there were multiple soft vacancies that occurred at different points throughout the quarter. The unusual amount of absences necessitated a slight increase amount in overtime payments to ensure appropriate Police service/coverage to the public. Overall, the outlook going forward is cautiously optimistic and additional costs due to overtime are hoped/expected to drop significantly.



Picture Butte Provincial Detachment Crime Statistics (Actual) Q4: 2019 - 2023

All categories contain "Attempted" and/or "Completed"

January 5, 2024

CATEGORY	Trend	2019	2020	2021	2022	2023	% Change 2019 - 2023	% Change 2022 - 2023	Avg File +/- per Year
Offences Related to Death		0	0	0	0	0	N/A	N/A	0.0
Robbery		0	0	0	1	0	N/A	-100%	0.1
Sexual Assaults		0	3	2	2	1	N/A	-50%	0.1
Other Sexual Offences		1	0	2	0	0	-100%	N/A	-0.2
Assault		11	8	10	9	3	-73%	-67%	-1.5
Kidnapping/Hostage/Abduction		0	0	0	0	0	N/A	N/A	0.0
Extortion		0	0	0	0	0	N/A	N/A	0.0
Criminal Harassment		3	5	3	0	2	-33%	N/A	-0.7
Uttering Threats		5	2	4	0	1	-80%	N/A	-1.0
TOTAL PERSONS		20	18	21	12	7	-65%	-42%	-3.2
Break & Enter		2	2	8	7	8	300%	14%	1.7
Theft of Motor Vehicle		4	3	2	4	1	-75%	-75%	-0.5
Theft Over \$5,000		2	2	0	0	2	0%	N/A	-0.2
Theft Under \$5,000		8	11	3	6	7	-13%	17%	-0.7
Possn Stn Goods		1	2	2	3	1	0%	-67%	0.1
Fraud		10	9	5	3	5	-50%	67%	-1.6
Arson		0	0	1	0	0	N/A	N/A	0.0
Mischief - Damage To Property		11	6	9	5	5	-55%	0%	-1.3
Mischief - Other		0	1	2	1	11	N/A	1000%	2.2
TOTAL PROPERTY		38	36	32	29	40	5%	38%	-0.3
Offensive Weapons		1	2	1	1	0	-100%	-100%	-0.3
Disturbing the peace		1	5	4	1	1	0%	0%	-0.4
Fail to Comply & Breaches		1	5	4	8	1	0%	-88%	0.3
OTHER CRIMINAL CODE		1	3	0	4	1	0%	-75%	0.1
TOTAL OTHER CRIMINAL CODE		4	15	9	14	3	-25%	-79%	-0.3
TOTAL CRIMINAL CODE		62	69	62	55	50	-19%	-9%	-3.8



Picture Butte Provincial Detachment

Crime Statistics (Actual)

Q4: 2019 - 2023

All categories contain "Attempted" and/or "Completed"

January 5, 2024

CATEGORY	Trend	2019	2020	2021	2022	2023	% Change 2019 - 2023	% Change 2022 - 2023	Avg File +/- per Year
Drug Enforcement - Production		0	0	0	0	0	N/A	N/A	0.0
Drug Enforcement - Possession		0	0	0	0	0	N/A	N/A	0.0
Drug Enforcement - Trafficking		0	0	0	0	0	N/A	N/A	0.0
Drug Enforcement - Other		0	0	0	0	0	N/A	N/A	0.0
Total Drugs		0	0	0	0	0	N/A	N/A	0.0
Cannabis Enforcement		0	0	0	0	0	N/A	N/A	0.0
Federal - General		0	0	0	0	0	N/A	N/A	0.0
TOTAL FEDERAL		0	0	0	0	0	N/A	N/A	0.0
Liquor Act		2	0	0	1	0	-100%	-100%	-0.3
Cannabis Act		1	0	0	0	0	-100%	N/A	-0.2
Mental Health Act		4	5	15	7	13	225%	86%	2.0
Other Provincial Stats		16	25	26	15	6	-63%	-60%	-3.0
Total Provincial Stats		23	30	41	23	19	-17%	-17%	-1.5
Municipal By-laws Traffic		1	0	0	0	0	-100%	N/A	-0.2
Municipal By-laws		6	4	0	2	0	-100%	-100%	-1.4
Total Municipal		7	4	0	2	0	-100%	-100%	-1.6
Fatals		0	1	0	0	1	N/A	N/A	0.1
Injury MVC		3	1	4	5	5	67%	0%	0.8
Property Damage MVC (Reportable)		45	40	24	26	30	-33%	15%	-4.4
Property Damage MVC (Non Reportable)		2	6	4	1	3	50%	200%	-0.3
TOTAL MVC		50	48	32	32	39	-22%	22%	-3.8
Roadside Suspension - Alcohol (Prov)		N/A	N/A	N/A	N/A	3	N/A	N/A	N/A
Roadside Suspension - Drugs (Prov)		N/A	N/A	N/A	N/A	0	N/A	N/A	N/A
Total Provincial Traffic		429	285	232	53	71	-83%	34%	-94.8
Other Traffic		4	0	1	1	0	-100%	-100%	-0.7
Criminal Code Traffic		13	3	2	1	1	-92%	0%	-2.6
Common Police Activities									
False Alarms		4	5	5	10	3	-25%	-70%	0.3
False/Abandoned 911 Call and 911 Act		20	22	17	13	13	-35%	0%	-2.3
Suspicious Person/Vehicle/Property		14	15	9	5	9	-36%	80%	-2.0
Persons Reported Missing		2	2	0	2	1	-50%	-50%	-0.2
Search Warrants		0	0	0	0	0	N/A	N/A	0.0
Spousal Abuse - Survey Code (Reported)		9	12	6	11	6	-33%	-45%	-0.7
Form 10 (MHA) (Reported)		0	0	0	0	0	N/A	N/A	0.0

Introduction

In 2022, Picture Butte High School (PBHS) became one of the first pilot schools in Western Canada to run a farm education program. Since that inception, PBHS has consistently and methodically created many strands of successful farm ed operations. Our program has grown to include: apiculture, poultry management, dryland gardening, greenhouse agriculture, aquaponics, and hydroponics. We would like to now officially apply for the capacity to add livestock into our programming options.

Similar educational programs in operation in Alberta

At present, there are at least three other major programs operating a 'FarmEd' type of program with varying degrees of livestock. Most are in smaller hamlets so bylaw considerations are likely different than would need to occur here. That said, these programs could offer some insight for livestock management within an educational setting. Please see the links below for more information on this.

Altario School is the most robust. They manage roughly 20-50 animals, ranging from cows to turkeys, every year. Irvine School started at the same time as PBHS and is already into livestock. Mountainview has also ventured into livestock but I don't think it is as far along as Altario or Irvine.

Altario (special area #4)

<https://altario.plrd.ab.ca/>

Irvine School (Cypress County)

<https://irvine.myprps.com/irvine-agricultural-discovery-center>

Mountainview School (Cardston County)

<https://lethbridgenewsnow.com/2022/09/20/mountain-view-school-keeps-students-engaged-with-its-agriculture-program/>

Program Overview

In conjunction with community partners (eg. Turin 4-H club), we are proposing to use a 4800 square foot fenced portion of the PBHS Farm Ed program space to house upwards of 12 larger animals and lower numbers of smaller animals (eg. turkeys, pheasants, rabbits) as a part of the club's yearly programming. All animals would only be on site during September to June class times and then would be dispersed out to local farms during the summer period. This partnership would allow some students, that do not have farm yard space, to be able to take part in livestock operations.

Program Specifics

Noise management

All animals will be afforded a sleeping shelter to minimize disruptions during the night and day. Additionally, any animals that might be stressed during weaning

processes would be kept to less than four animals and only be weaned once past the end range of that process.

Organic waste

All solid organic waste will be disposed of in one of two ways. First, a portion of the organic waste will be incorporated into one of our three gardens. Second, left over solid organic waste will be transported out of the FarmEd facility to other fields in the area.

Week day care

Animals will be cared for at the start and end of every day. Students, in the Farm Ed class, will be responsible for morning chores, afternoon care, and evening chores.

Weekend/after school care

Enough feed will be laid out prior to each weekend as well as enough water to meet needs on hand. Animals will be checked on daily by students and staff as well as all animals will be subject to weekend video surveillance. If medical care is necessary, weekend veterinarians have been contracted to manage any needs.

Feed storage

All immediate feed needs will be stored on school property within the fenced space or immediately adjacent to the fenced in space of the FarmEd program. Excess feed will be stored outside of town limits. Any Bales, or other feed products, that could attract rodents, will be stored a minimum of 100' away from any human inhabited building to ensure pests will not make their way into these spaces.

Predator prevention

All animals will be separated via one 8' metal fence structures which is much more secure than average fencing. All fences will have the extra security of wire mesh placed within the first foot of soil to prevent animals from burrowing underneath to get in.

Pen setup

Any required pen structures will be constructed within the fenced in areas and conform to basic standards.

Video Surveillance

All Farm Ed exterior grounds will be monitored via video surveillance to account for weather, predator, and trespassing concerns.

Veterinary care

We will have two clinics ready to be on-call for the Farm Ed program.

Water Supply

We will have a water trough with two heaters (one redundant) to supply all drinking needs of all animals.

Physical Layout





Request for Decision

Our Vision: *Picture Butte is the Community of Choice to work, live and play in Lethbridge County*

Our Mission: *Picture Butte is a thriving community dedicated to serving our people through fiscal responsibility and transparency.*

Date: 21st February, 2024

To: Mayor, Council

From: CAO

Re: Pool Shades

Background:

At the Committee of the Whole meeting in August 2023, Administration presented some options to provide shade at the Cor Van Raay & Community Aquatic centre (pool). Council gave the direction to plan to install the Uhlmann TXS umbrellas. The TXS umbrellas are wind rated to 102 km/h and are the most wind resistant umbrellas or shade mechanisms that we have found. We also found these umbrellas to provide more shade per dollar compared to other shade mechanisms we explored.

Council also gave Administration direction that we will install these umbrellas when and if we receive donations. Chantel has created a sponsorship package to release to the public and we would like Council feedback before we do.

Sponsorship Amount:

Square Umbrellas

We have built the sponsorship package and costing of \$15,000 based upon the following:

1. Purchasing Square 4.5x4.5 TXS umbrellas with no valance (\$11,385).
 - a. The TXS umbrellas come in multiple sizes.
 - b. The shade analysis was done with the TXS 4.5x4.5 umbrellas.
2. Purchasing the inground and upper sleeve (\$1,435)
3. Sponsorship logo (\$420)
4. Shipping (unknown cost)
5. Concrete foundation (balance)

Total Cost = \$11,385+1,435+\$420 = **\$13,240** + shipping + concrete foundation.

The Town may have to cover some of the costs that are not captured in the donation. We are suggesting \$15,000 as we thought it was more of a rounded number than say \$16,000 or \$17,000.

Round Umbrellas

1. 5m TXS umbrella with no valance (\$9,995)
2. Inground and upper sleeve (\$1,435)
3. Sponsorship logo (\$420)
4. Shipping (unknown cost)
5. Concrete foundation (balance)

Total Cost = \$9,995+\$1,435+\$420 = **\$11,850** + shipping + concrete foundation.

With the round umbrellas we could advertise for \$12,000 and incur some costs like shipping and concrete foundation.

Umbrella Size and uniformity

The TXS umbrella comes in a range of sizes. We have built the sponsorship package and installations based upon the 4.5x4.5m square umbrella. The 5x3m, 5x3.5m and 5x4m are cheaper than the 4.5x4.5m square umbrella but except for the 5x4m provide less shade.

There is also the option of installing round umbrellas. The 5m round umbrella is about \$1,400 less and provides the same amount of square metre coverage.

The other consideration is do we want to have uniform umbrellas? That is, have all square or round umbrellas or does Council want to see a variety of different sized umbrellas including round, square and rectangle umbrellas.

Recommendation:

To proceed with advertising the purchase of the 4.5x4.5m square or the 5m round umbrellas and to keep all of the umbrellas consistent within the grassed area of the pool.

Rationale:

The only reason I have made this recommendation is that it is easier to market, purchase, plan for and install one type and size of umbrella.

Colour of Umbrellas

These umbrellas can come with 23 different colour shade cloths. Does Council want to specify what colours the shade cloths will be or do we allow the sponsor to choose the colour they want.

Recommendation:

To limit the colour of the umbrella shade cloths to match the colours of the pool slide and alternate shade cloths between the colours identified as 0001 (white), 0003 (green) and 0017 (blue).

Rationale:

Just adds some continuity to the colour scheme of the pool grounds.

Alternate Options:

1. To allow any colour of shade cloth and to allow the sponsor to choose it.
2. To allow only one colour of shade cloth and have all of the umbrellas look the same. If this is the option what colour should be chosen?

Attachments:

1. Email outlining costs of the different umbrella sizes
2. Sponsorship poster
3. Uhlmann umbrella brochure

Submitted by: Keith Davis, CAO

Keith Davis



Kate Boodram <KateB@planboffice.com>
Wednesday, February 21, 2024 3:24 PM
Keith Davis
RE: Umbrella Pricing/ Your enquiry StB

Hi Keith!

Here is the pricing for the round TXS umbrellas.
Base would be the same as what was previously quoted.

5m
Valance \$11,340
No Valance \$9,995

6m
Valance \$15,010
No Valance \$13,125

6.5m
Valance \$18,820
No Valance \$16,460

Thank you,

Kate Boodram
sales

showroom
380 king street east | toronto, on | m5a 1k9

beaton distribution centre
1740 sismet road | mississauga, on | l4w 1r4

416 363 2996 (ext 209)

www.studiobhome.com | www.planboffice.com



From: Keith Davis <keith@picturebutte.ca>
Sent: Wednesday, February 21, 2024 4:20 PM
To: Kate Boodram <KateB@planboffice.com>
Subject: RE: Umbrella Pricing/ Your enquiry StB

Hi Kate

Would you be able to provide the costing on the round TXS umbrellas as well please.

Thanks

Keith Davis

CAO

Town of Picture Butte

(W) 403-732-4555

From: Kate Boodram <KateB@planboffice.com>

Sent: Wednesday, February 14, 2024 3:04 PM

To: Keith Davis <keith@picturebutte.ca>

Subject: RE: Umbrella Pricing/ Your enquiry StB

Hi Keith,

Please see below:

1. The cost for your TSX umbrellas, in particular the square and rectangle versions inclusive of required installation sleeves;

For the TXS umbrellas, we do recommend the Sunacryl for the canopy as it is the most durable. I have priced the umbrella with this. I have also included options for a valance or no valance and the different dimensions since that was not specified. For the bases, I have priced out various options. Just let me know which you require. Pricing does not include taxes or installation. If you require installation let me know and I will have to get a quote for that.

4.5x4.5m
Valance \$12,735
No Valance \$11,385

5x3m
Valance \$10,575
No Valance \$9,565

5x3,5m
Valance \$11,375
No Valance \$10,195

5x4m
Valance \$12,270
No Valance \$10,920

5x5m
Valance \$14,430
No Valance \$12,745

6x4m
Valance \$15,085
No Valance \$13,470

Base Options:
Inground and Upper Sleeve
\$1,435



Inground Sleeve
\$1,225



Steel Base Plate
\$790



2. Estimated shipping costs to Picture Butte, Alberta, Canada; and I will need to get a shipping quote from our freight forwarder. If you can let me know the quantity of how many umbrellas you would be potentially ordering.
3. Cost to have sponsors logos printed on the umbrellas; or
 - a. Is the printing of logos done locally once we have the umbrella?
Uhlmann can print your logo for an additional. You will just need to provide a high resolution of the image you wish to use.



Straight valances (no split where the arms are) \$205 per each umbrella +taxes
Straight Roof section (no middle seam) \$420 per each umbrella +taxes

Thank you,



Shade at the Pool

Purchase an Umbrella

Sponsorships Requested

OUR VISION

- The Cor Van Raay & Community Aquatic Centre is looking for sponsors to provide shade coverage at the pool.
- The pool has a large grassed area that could benefit from umbrellas for families to use during the hot summer months. These umbrellas will be installed in the grassed area providing shade to all.
- Our goal is to have five or six placed around the pool area for use by the community.



THE UHLMANN TXS UMBRELLA

The Uhlmann TXS Umbrella was chosen for its durability, cost, and design. It can withstand our Southern Alberta winds up to 102km/h.



BRANDING

Companies or individuals that purchase an umbrella will have their name or logo printed onto the umbrella. Your financial contribution will be recognised by the 1000's that use our pool.



PRICING

\$15,000

Includes umbrella, company logo and installation

CONTACT US



Keith Davis, CAO



403-732-4555



keith@picturebutte.ca



Quality meets
Elegance
Parasols of Excellence!



■ Uhlmann Giant Parasols

Since the company was founded in 1994, Uhlmann have been producing superior giant parasols for discerning customers with superior requirements.

In accordance with our high quality standards, our round, square and rectangular giant parasols are manufactured using only the very best materials available.

Our range of parasols comprises 90 different sizes in 6 type variations, covering from 4 m² to more than 78 m². When combined with our comprehensive selection of accessories and our range of 47 standard colours, we are able to provide you with custom solutions tailored to your individual specification.

As a major supplier to numerous market leading high profile brands, we have come to know precisely what the leisure industry needs. This makes Uhlmann the first choice for both private customers, public projects and commercial enterprises.

Our products are „Made in Germany“ and manufactured in line with the highest quality standards. Uhlmann parasols combine state of the art functionality, design and robustness with an outstanding price performance ratio.

Take our word for it.

We provide shade for every situation.



Contents

Page

	Type T	The Classic	4 - 7
	Type TL/TLx	The Giant	8 - 11
	Type TS, TXS, TX	The Titan	12 - 15
	Membranes, Materials, Colours		16 - 17
	Brands that put their trust in us		18
	Frames		19
	Guttering and Side Sheets		20-21
	Heating and Lighting		22
	Ground Sleeves and Portable Bases		23

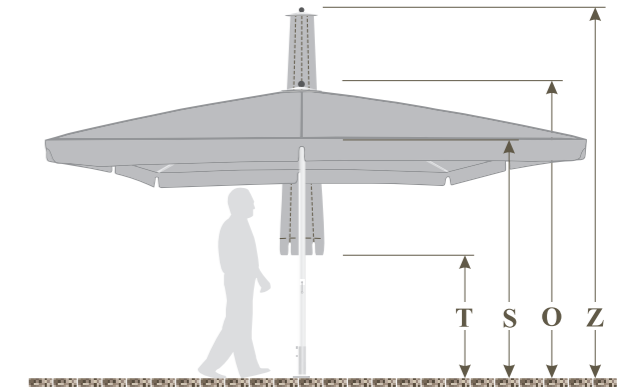


Type T



Type T The Classic

Sizes:	2 m to 6.5 m
Shaded area:	4 m ² to 27.5 m ²
Mast:	ø 80 mm
Mast thickness:	3 mm to 4 mm
Arms:	35 x 25 x 2 mm or 45 x 25 x 2 mm
Operation:	Crank handle / crank pin
Colours:	See page 17
Accessories:	Available as an optional extra



An allrounder that is perfectly designed!

The classic among our centre mast parasols guarantees professional shading for any requirement. Our Classic Type T parasols cover from 4 m² to 27 m².

The tried and tested telescopic system and state of the art gearbox situated within the mast, provides maximum stability, functionality and durability. It is operated by crank handle or pin, whereby the frame is raised when closing, so that, with few exceptions, Type T parasols can be closed above table height.

Adjustable, spring-loaded end pieces in the arms ensure automatic retightening of membranes as well as quick and easy cover changes.

Depending on your individual requirements, Type T parasols can be installed using concrete foundations with in-ground sleeves, base plates or portable bases.

A spectacular variety of sizes, outstanding craftsmanship and a broad range of accessories make this parasol first choice for most solutions.



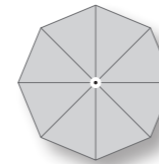
The Classic



- Most popular parasol
- Ideal for shading small to medium-sized areas
- Comprehensive variety of sizes
- 8-arm telescope technology
- Tested and certified by TÜV Süd

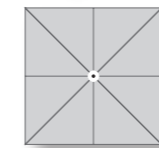


Round



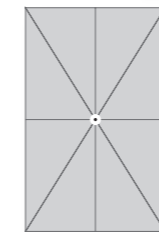
Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
3	7	350	280	225	160	28	8
3,5	9	360	290	230	155	29	8
4	12	370	300	235	145	30	8
4,5	15	380	300	240	135	32	8
5	19	390	310	240	125	35	8
5,5	23	405	315	240	115	38	8
6	27	430	330	240	90	48	8

Square



Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
2 x 2	4	330	270	225	138	20	8
2,5 x 2,5	6,25	360	270	225	160	23	8
3 x 3	9	370	290	230	160	28	8
3,5 x 3,5	12,5	390	300	235	140	31	8
4 x 4	16	410	310	235	110	34	8
4,5 x 4,5	20	415	320	240	85	40	8
5 x 5	25	425	330	245	72	50	8

Rectangle



Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
2,5 x 2	5	350	262	225	190	21	8
3 x 2	6	345	262	225	173	21	8
3,5 x 2	7	368	268	230	170	22	8
3 x 2,5	7,5	365	273	225	150	25	8
3,5 x 2,5	9	378	292	230	155	27	8
3,5 x 3	10,5	380	295	230	150	29	8
4 x 2	8	369	272	235	138	27	8
4 x 2,5	10	375	285	235	135	29	8
4 x 3	12	390	300	235	140	31	8
4 x 3,5	14	405	305	235	135	31	8
4,5 x 3	13,5	405	300	235	110	34	8
4,5 x 4	18	410	320	235	100	36	8
5 x 2,5	12,5	400	300	235	117	36	8
5 x 3	15	405	315	235	98	38	8
5 x 3,5	17,5	405	310	235	92	38	8
5 x 4	20	415	320	245	85	40	8
5 x 4,5	22,5	425	320	245	85	48	8
5,5 x 3,5	19,5	420	320	245	85	46	8
5,5 x 4	22	425	320	245	85	48	8
5,5 x 5	27,5	425	330	245	65	56	8
6 x 3	18	420	320	240	85	46	8
6 x 3,5	21	420	315	245	70	48	8
6 x 4	24	425	330	245	72	50	8
6 x 4,5	27	455	330	245	72	56	8
6,5 x 4	27	455	330	245	65	56	8

The Type T parasol is available in 43 different sizes. The table on the right shows all the standard sizes in 0.5 m steps. Additional sizes are available on request. We have the perfect solution for every terrace.

Type TL / TLx The Giant



The Giant

The parasol to cover anywhere!

The Uhlmann Giant has a unique design concept of its own. It is manufactured using either 10 or 12-arm geometry and equipped with a telescope and sliding mechanism.

The external sliding mechanism is connected with the telescope by means of two stainless steel cables. Both telescope and sliding mechanism are held in place by synthetic slide bearings to give stability and to avoid twisting. The state of the art gearbox ensures that even the largest parasols are very easy to open and close. With an integrated self-locking mechanism, our parasols remain securely open in all positions.

Depending on your individual requirements, Type TL and TLx parasols can be installed using concrete foundations with in-ground sleeves, base plates or portable stands.

Durable mast construction and reinforced arms allow for shaded areas of up to 78 m² (10m ø parasol).

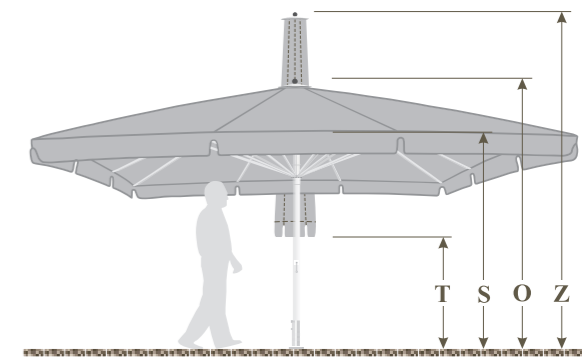


- Sliding mechanism system
- Ideal for shading medium-sized to large areas
- First-rate advertising medium
- 10/12-arm telescope technology
- Tested and certified by TÜV Süd

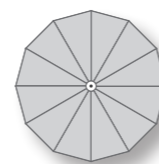


Specifications Type TL / TLx

Sizes:	4.5 m to ø 10 m
Shaded area:	25 m ² to 78 m ²
Mast:	TL = ø 106 mm, TLx = ø 110 mm
Mast thickness:	TL = 3 mm, TLx = 5 mm
Arms:	TL = 45 x 25 x 2 mm TLx = 56 x 31 x 2.5 mm
Operation:	Crank handle / crank pin
Colours:	See page 17
Accessories:	Available as an optional extra



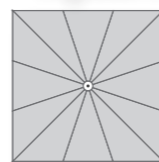
Round



Type TL	Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	6,5	31	440	335	245	100	65	12
	7,2	39	470	360	245	90	72	12

Type TLx	Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	9	63	510	370	260	60	135	12
	10	78	530	380	260	40	160	12

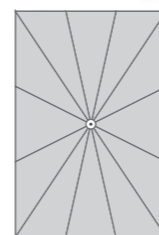
Square



Type TL	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	5,5 x 5,5	30,25	445	350	250	50	78	12

Type TLx	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	6,5 x 6,5	42,3	535	390	265	40	115	12
	7 x 7	49	530	420	280	40	135	12
	7,5 x 7,5	56	546	406	280	15	155	12

Rectangle



Type TL	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	5,5 x 4,5	25	430	335	245	73	72	12
	6 x 5,5	33	459	351	245	46	80	12
	6,5 x 4,5	29	450	338	245	52	80	12

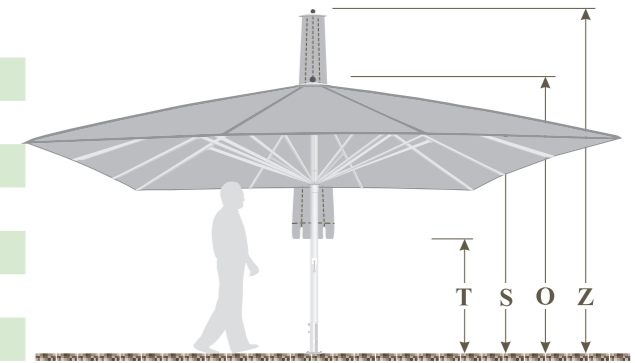
Type TLx	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	7 x 5	35	455	340	250	40	82	12
	7,3 x 5,7	42	520	375	270	55	115	12
	7 x 6	42	535	385	270	50	115	12
	7,5 x 5,5	41	520	373	275	40	114	12
	8 x 4,5	36	503	358	275	40	115	12
	8 x 5	40	510	365	275	40	115	12
	8 x 6	48	530	380	275	30	145	10
	8 x 7	56	565	425	280	20	169	12
	8,5 x 5	42,5	525	378	275	30	125	10
	9 x 5	45	550	380	280	20	135	10

Type TL and TLx parasols are available in 21 different sizes. Should you require sizes not included in our standard range, please do not hesitate to contact us. We have the perfect solution for every terrace.

Type TS, TXS, TX The Titan



Sizes:	3 m to ø 8 m
Shaded area:	7 m ² to 50 m ²
Mast:	TS = ø 80 mm, TXS, TX = ø 110 mm
Material thickness:	4 mm - 5 mm
Arms:	45 x 25 x 2 mm to 56 x 31 x 2.5 mm
Operation:	Crank handle / crank pin
Colours:	see page 17
Accessories:	Available as an optional extra



Solid as a rock!

Our Strong Wind parasol is made to withstand the elements in exposed locations such as coastal areas, on roof terraces and in high altitude regions etc.

This parasol was especially developed for extremely windy locations, tested in the wind tunnel and TÜV approved.

Reinforced arms, exceptionally stable hinge points and an extremely strong mast, enable the Titan to defy wind speeds of up to 102 km/h.

The gearbox and spindle mechanism located inside the mast can be operated via crank handle or pin, and as with all of our ranges, the entire frame is raised as the parasol is closed.

Depending on your individual requirements, Type TS/TXS and TX parasols can be installed using concrete foundations with in-ground sleeves or base plates.

Available as:

- Type TS
80 mm mast
up to 102 km/h
- Type TXS
110 mm mast
up to 102 km/h
- Type TX
110 mm mast
up to 70 km/h



The Titan

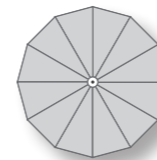


- Wind tunnel tested
- Reinforced edition
- Streamlined construction
- Ideal for windy locations
- Approved and certified by TÜV Süd



Type
TS/TXS/
TX

Round

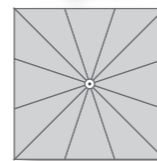


Type TS	Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	3	7	356	282	225	196	37	8
	4	12,5	416	308	235	205	45	8

Type TXS	Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	5	20	465	329	240	201	66	8
	6	28	487	345	240	171	110	12

Type TX	Dimensions ø m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	7	38	516	367	245	148	124	12
	8	50	550	383	245	128	139	12

Square

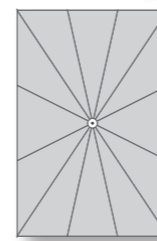


Type TS	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	3 x 3	9	387	289	225	164	40	8
	4 x 4	16	434	316	235	141	53	8

Type TXS	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	4,5 x 4,5	20	474	335	245	145	75	12
	5 x 5	25	497	344	245	132	82	12

Type TX	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	6 x 6	36	536	362	245	98	109	12

Rectangle



Type TS	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	4 x 3	12	421	298	235	164	45	8

Type TXS	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	5 x 3,5	17,5	447	306	235	136	70	10
	5 x 4	20	469	325	245	143	79	10
	6 x 4	24	490	334	245	121	83	10

Type TX	Dimensions m	Area m ²	Z (cm) closed	O (cm) open	S (cm) Side height	T (cm) Table clearance	Weight kg	Number of Arms
	6 x 5	30	508	344	245	107	88	12
	6 x 5,5	33	517	353	245	98	96	12
	7 x 4	28	499	331	245	88	92	10
	7,5 x 4	30	522	349	245	132	98	10

The reinforced Type TX and the strong wind parasols Type TS and TXS are available in 19 different sizes.

TS = strong wind edition with 80 mm mast, up to 102 km/h TX = reinforced version, with 110 mm mast, up to 70 km/h TXS = reinforced strong wind edition with 110 mm mast, up to 102 km/h

Membranes and Fabrics

Colours



Dolan specifications (acrylic material)

- 100% solution-dyed Sunacryl
- Cleanguard Coating outdoor finish
- Weight 290 g/m²
- Colour fastness and UV resistance 7 to 8/8 (UV 801)
- Water pressure resistance 350 mm

Material characteristics

- Light colouring / Psychological pleasure
- Protection for the eyes / Light filtering (Vt)
- Thermal comfort / Heat transmitted (SF)
- Light colouring / psychological pleasure

Light colouring

cool atmosphere temperate atmosphere warm atmosphere

Visual protection

Vt = Visual transmission (% of light penetration through the fabric)

Vt < 10% 10% < Vt < 20% Vt > 20%

Thermal comfort

SF = Solar Factor (% age of solar heat transmitted)

SF < 0.1 (less than 10%) 0.1 < SF < 0.2 (10% up to 20%) 0.2 < SF < 0.3 (20% up to 30%)

UV Protection

UPF index: converted to % of UV's filtered

UPF 12+ UPF 30+ UPF 50+

90% UV filter 95% UV filter 100% UV filter



Airtex specifications (polyester)

- 100% polyester fabric
- Teflon outdoor finish
- Weight 195 g/m²
- Colour fastness and UV resistance 6 to 8/8 (UV 801)
- Water pressure resistance 700 mm



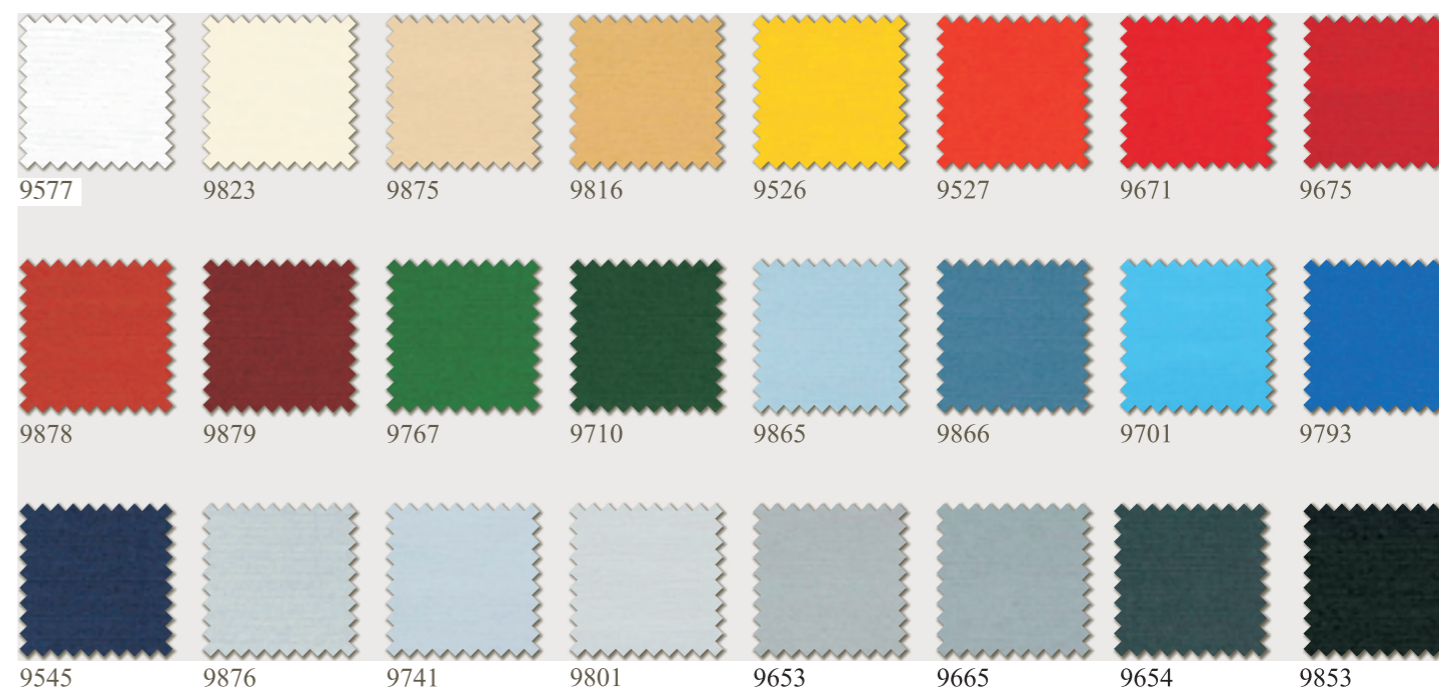
■ Dolan (Sunacryl)

Weight: approx. 290 g/m² ± 5%, water pressure resistance: 350 mm



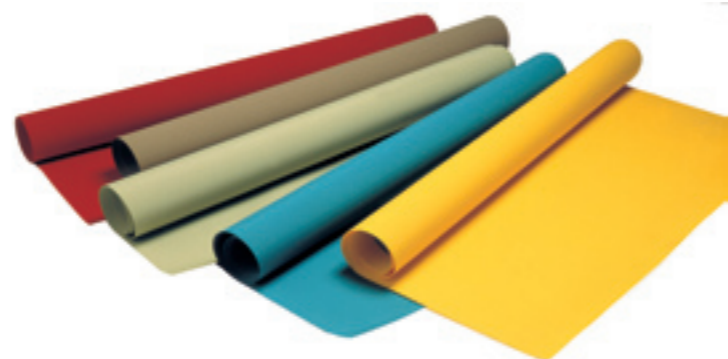
■ Airtex (polyester)

Weight: approx. 195 g/m² ± 5%, water pressure resistance: 700 mm



Our membranes are cut on computer operated machines and sewn in-house by fully qualified and highly experienced staff. Only high-quality fabrics such as DOLAN (acrylic) and Airtex (polyester) are used.

For hems and seams on both fabrics, Airtex trim is used throughout. By combining the colours of trim and membranes, using related, contrasting or complementary colours, interesting colour schemes can be achieved. Alternatively, parasols can be designed to either blend into their surroundings or to a specific corporate colour scheme.



Printed colours in this brochure may deviate from the original fabric colours. Please do not hesitate to request our colour chart with original fabric samples.

Printing



Frame



Brands that put their trust in us



*Get ready to set the scene
for you and your brand!*

Giant parasols provide the ideal solution for effective advertising. Printed valances and roof sections can turn your parasol into a real eye-catcher.

Besides providing professional expertise and advice, the team at Rain Werbung, our in-house design and advertising department, ensures reliable and professional implementation of your advertising requirements.

In addition, we will provide you with all the services you require for your public appearance e.g.

- **Textile printing**
(T-shirts, aprons, work clothes etc.)
- **Lettering**
(signs, vehicles, shop windows)
- **Stickers**
- **Printed materials**

www.rain-werbung.de

Frame

Our robust frames are renowned in the industry for their strength and durability. Depending on the size and type of parasol, the extruded aluminium profiles are internally reinforced.

All connecting components are manufactured from high quality stainless or galvanised steel. Each of the arms can be individually replaced. Spring-loaded end pieces in the ends of the arms ensure automatic tightening of the membrane and facilitate membrane replacement.

The telescope is held securely by synthetic bearings to give stability. When closing the parasol, the frame is raised, guaranteeing ample table clearance for most of our parasols.

Coating

All aluminium profiles are finished with a high quality powder coating. This guarantees high scratch and impact resistance as well as protection against climatic and environmental influences.

Besides our white standard coating, you can choose from any of the RAL colour selection or a pattern from our exclusive DECORAL® range, e.g. pine, walnut, oak, marble, granite, etc.

Please do not hesitate to ask for details. We will be happy to advise you.





Rain Gutters



An Uhlmann parasol will not leave you out in the rain.

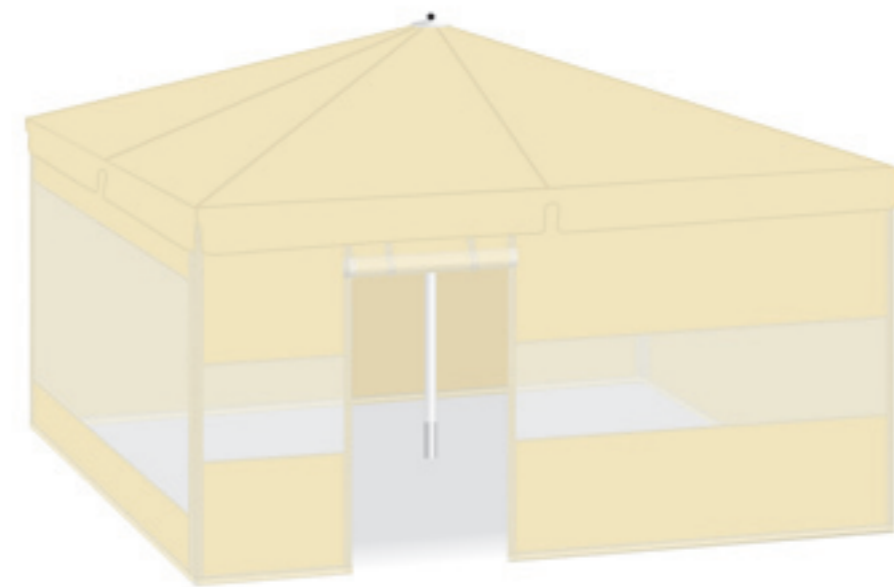
Adjacent parasols, as well as parasols situated in close proximity to buildings, can be easily connected by means of rain gutters. Even detached parasols can be equipped with self-supporting gutters to allow rain water to drain off in desired directions.

Airtex is used as the standard material for our rain gutters. Their slightly conical shape provides the slope required to allow water to drain off efficiently. For the necessary stability, Uhlmann rain gutters have integrated aluminium profiles with threaded inserts.

To ensure optimum drainage, we recommend membranes with valances. The rain gutters are fastened to the end sections of the arms, using carabiners or special gutter adapters.



Side Sheets



Continuous side sheet



Side sheet with clear vision, narrow
(Clear vision: 0.68 m height)



Side sheet with clear vision, wide
(Clear vision: 1.36 m height)



Side sheet with door



Continuous side sheet with skirting



Make more of your parasol

Our side sheets not only ward off the elements, they can transform your parasol. Whether you are using an individual parasol or a group of parasols connected together, your guests will appreciate both the sheltered atmosphere and the cosy ambience.

Our side sheets are available with and without transparent clear vision inserts. The fastening system is identical to that of the rain gutters.

Side sheets can be connected to one another by means of heavy duty velcro strips. Additional roll-up doors can also be installed.



Perfect hospitality in every detail

As host or event manager, you are always keen to provide your guests with a warm and welcoming atmosphere.

With our heating and lighting solutions, you can turn your outdoor area into an impressive and pleasant location, for your guests to relax and feel at ease.



Attaching energy saving light units and highly efficient infrared heaters to your parasol is not only friendly to the environment (compared to the use of conventional light bulbs and outdoor heaters), it will also save you money.

Using the latest LED technology, amazing colour effects can be achieved:

- 21 programmes, 7 static colours
- Slow or rapid variation of 2 to 7 colours
- Interval switching
- 256 step dimming
- Remote control

Our heaters are attached using special brackets. These can be conveniently collapsed before closing the parasol. Time-consuming removal of the heaters is not necessary.

Heating and Lighting



Ground Sleeve

For permanent installation, we recommend our 2-part fully galvanised ground sleeve system. The parasol is firmly clamped and secured with an additional lock screw.

The ground sleeve is set vertically and on ground level into a concrete foundation to ensure a secure standing position. In parasols with electrics, all cables are hidden from view inside the mast and the ground sleeve. This system ensures compliance with even the most rigorous Health & Safety regulations.

Base Plate

The base plate is used in cases where a concrete foundation is not possible due to existing structural limitations. Prime examples are roof terraces, balconies, and locations with underlying basements, cellars or car parks.

Safe and secure installation using a base plate is achieved by means of 8 anchor screws and heavy duty dowels.

Base Plate



Portable Bases

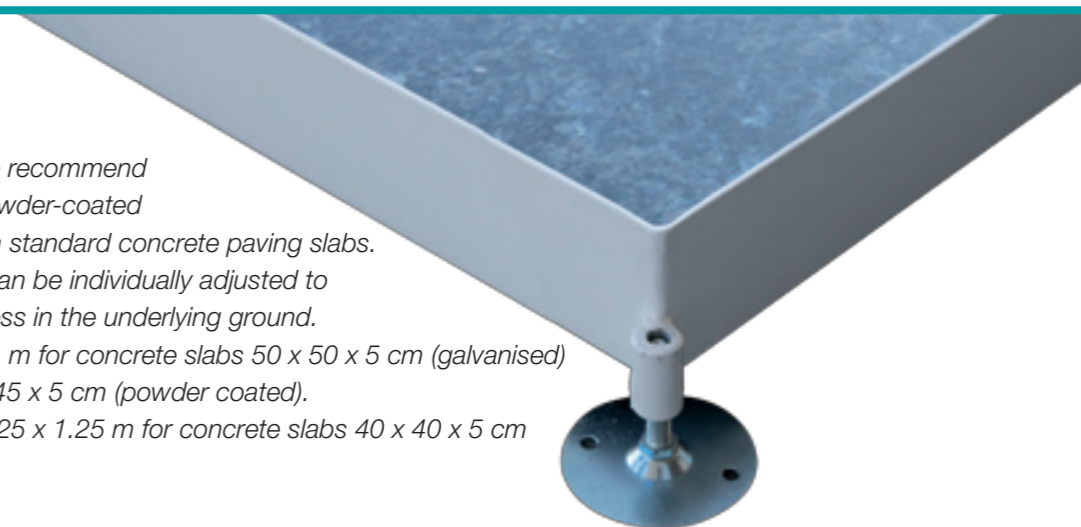
For mobile installations, we recommend our fully galvanised and powder-coated portable bases for use with standard concrete paving slabs. The four corner supports can be individually adjusted to compensate any unevenness in the underlying ground.

Type T: portable base 1 x 1 m for concrete slabs 50 x 50 x 5 cm (galvanised) or for concrete slabs 45 x 45 x 5 cm (powder coated).

Type TLx: portable base 1.25 x 1.25 m for concrete slabs 40 x 40 x 5 cm (galvanised).

Portable Base

Ground Sleeve





Uhlmann Sonnenschirme e.K.
Langer Rain 3-5
88524 Uttenweiler-Dettingen
Germany

Tel. +49 73 74 - 920 57-0
Fax +49 73 74 - 920 57-50

info@uhlmann-online.de
www.uhlmann-sonnenschirme.de



Request for Decision

Our Vision: *Picture Butte is the Community of Choice to work, live and play in Lethbridge County*

Our Mission: *Picture Butte is a thriving community dedicated to serving our people through fiscal responsibility and transparency.*

Date: 21st February, 2024

To: Mayor, Council

From: CAO

Re: Street light installation in front of the arena

Background:

Council instructed Administration to look into the costs of installing more street lights on 4th Street in front of the arena.

Attached is a quote from Fortis for installing two additional street lights and upgrading the existing 150W LED street light to a 250W street light

The required investment would be \$20,118.

Attachments:

1. Fortis Street Light – New Service cost estimate

Submitted by: Keith Davis, CAO



February 15, 2024

Town of Picture Butte
Attn: Keith Davis
120 4 Street North
Box 670
Picture Butte, Alberta
T0K 1V0

Billing Customer: Town of Picture Butte
Service Location: SE-03-11-21-4
Existing Site Identification Number: 0040001225153
Request Number: 500120338-03

Dear Mr. Keith Davis,

Subject: Street Light - New Service

At FortisAlberta, our purpose is to deliver the electricity that empowers Albertans, like you, to succeed and we do this with respect and integrity. Operational excellence is of utmost importance, and our focus is to get you connected and maintain your power 24/7. Our team is always working to build, maintain, and upgrade our system to be safe and reliable.

Our centralized Control Centre in Airdrie provides visibility of the 240 communities in our service territory, the ability to predict many problems before they occur and, in many cases, the ability to remotely restore your power in a matter of seconds. The necessary people and equipment are always available – primed and ready to respond in your local area. We work together to get you connected and keep the power on, not just because it is our job, but because we care about the people we serve. As a valued FortisAlberta customer, if it matters to you, it matters to us.

In this quotation package, the words and phrases which are defined in FortisAlberta's Customer Terms and Conditions shall have the same meaning assigned to them in this quotation package. This quotation package for a new Street Light electrical service (the "Project") includes the following documents:

- Customer Acceptance to Proceed, which will require Customer's signature
- Estimate Print specific to the Project, which will require Customer's signature
- Schedule "A" for services that details FortisAlberta's [Customer Terms and Conditions](#), and
- Rate Sheet that explains a Retailer's invoice.

(the "Quotation Package")

The Customer, or Customer's representative, is to thoroughly review the Quotation Package and confirm acceptance of same.

The Customer Distribution Contribution Cost (payable amount) required for this project is \$20,117.29 plus \$1,005.86 GST for a total of \$21,123.15. A detailed breakdown of the Customer Distribution Contribution is in the table below.

Project Costs	\$26,767.29
Construction (Labour, Equipment & Services)	\$18,125.92
Materials	\$4,900.45
Engineering, Project Management and Administrative	\$3,929.30
FortisAlberta Contribution for system costs	\$188.38
FortisAlberta investment*	(\$6,650.00)
Customer Distribution Contribution (before tax)	\$20,117.29
GST (5%)	\$1,005.86
Customer Distribution Contribution	\$21,123.15

*FortisAlberta's Investment level has been calculated in accordance with the [Customer Contributions Schedules](#) and FortisAlberta's Customer Terms and Conditions which can be found on [FortisAlberta's website](#).

FortisAlberta's current investment level for streetlight has been calculated in accordance with the Customer Contributions Schedules in FortisAlberta's Customer Terms and Conditions. (Appendix "B")

The Non-Refundable portion of the Customer Contribution is \$20,117.29 plus \$1,005.86 GST for a total of \$21,123.15.

FORTISALBERTA TO:

* Supply/install approx. 25m of underground streetlight cable

* 1 New Pole

Streetlights:

- 1 x Steel Pole 35' Davit with 8' Arm with 250W LED EQ

- 2 x 250W LED EQ with 8' bracket

* Road push, 2 open pits on each side of the road, sidewalk flag replacement, live line work and grass seeding required

Salvage:

* 1 x 150W LED EQ

NOTES:

* Lighting does not meet IES standards, a lighting waiver is required

* Light to be turned on once FortisAlberta construction is complete.

DESIGN DETAILS

The Customer, or the Customer's representative, is required to carefully review the attached Estimate Print. Following the Customer's approval of the design details of the Project, the Customer is required to sign and return the Estimate Print along with the Customer Acceptance to Proceed document to FortisAlberta. For more information or to discuss the design details further, contact your FortisAlberta representative, Aron Jones at 403-514-4662.

CUSTOMER RESPONSIBILITIES

The Customer, or the Customer's representative shall be responsible for ensuring adherence to FortisAlberta's metering standards as per FortisAlberta's Service and Metering Guide.

The Customer acknowledges and agrees that the Customer shall be responsible for any and all costs incurred by FortisAlberta installing facilities not included in the attached Estimate Print, including but not limited to secondary lines at the Service Location.

Following the Customer's review and acceptance of this Quotation Package, Customer to complete and return the following documents:

- A signed Customer Acceptance to Proceed document;
- A signed Estimate Print;

The above signed documents must be returned to FortisAlberta no later than Monday, April 15, 2024 via:

- DocuSign to FortisAlberta Inc.
- E-mail to acceptance@fortisalberta.com or
- Fax to (403) 514-4415 or
- Mail to FortisAlberta Inc., 320 17 Ave SW, Calgary, Alberta, T2S 2V1.

PAYMENT DETAILS

Once Fortis Alberta's construction is complete, an invoice will be issued.

Payment is accepted by:

- Telephone Banking,
- Internet Banking or
- By Mail, to FortisAlberta, 320 17 Ave SW, Calgary, Alberta, T2S 2V1
 - Cheque or money order can be made payable to FortisAlberta Inc.
 - Please include the FortisAlberta Request Number 500120338-03 on the cheque or money order

Interest charges will be applied on accounts unpaid over 30 days from the invoice date.

BILLING FOR YOUR SERVICE

FortisAlberta directly invoices the Retailer, as selected by the Customer, for monthly distribution charges incurred. The Customer's Retailer invoices the Customer for those same monthly distribution charges.

The current Street Light Service (Rate 31 - Street Lights) has a service charge of approximately \$28.43/month.

The Customer is to understand and appreciate that the foregoing Rate Minimum amount does not include energy consumption costs, riders, local fees, and GST. The Rate Minimum is calculated based off the costs to have facilities in place and ready to serve the Customer, even in the event the Customer is not consuming energy. As a result, the Customer's invoice may reflect service charges 30 days after construction has been completed, regardless of whether the Customer is using the service or not.

For more information related to invoicing, please see the attached Rate Sheet, or call 310-WIRE (9473) to speak with a FortisAlberta Customer Service Representative.

FOR MORE INFORMATION

For more information about your electrical service, electrical upgrade and/or your quotation package, please view our website at www.fortisalberta.com.

If you have further questions, please contact me directly at: 403-514-4662 or Toll Free at: 1-866-352-5980.

Yours truly,



Aron Jones
Quotation Analyst

Attachments:

- Quotation Acceptance/Notification to Proceed
- Estimate Print
- Schedule "A"
- Rate Sheet
- Streetlight Waiver Form



CUSTOMER ACCEPTANCE TO PROCEED

To proceed with the Project, the Customer is to **sign and return** this Customer Acceptance to Proceed document, along with a signed Estimate Print, to FortisAlberta before Monday, April 15, 2024.

By signing and returning this Customer Acceptance to Proceed document, the Customer is acknowledging and accepting all terms within this Quotation Package and FortisAlberta's [Customer Terms and Conditions](#).

Following receipt by FortisAlberta of the signed documents and payment of the Customer Distribution Contribution, as applicable, FortisAlberta will proceed with the Project.

Notwithstanding the foregoing, FortisAlberta reserves the right to **requote** or **cancel** the Quotation

Package under the following conditions:

- The customer has not returned a signed copy of this Customer Acceptance to Proceed and a signed Estimate Print to FortisAlberta before Monday, April 15, 2024;
- There are changes to the scope of the Project as outlined in Schedule "A" under "About Construction," after FortisAlberta receives the signed Customer Acceptance to Proceed document and Estimate Print; and/or
- FortisAlberta has received the signed Customer Acceptance to Proceed document and Estimate Print, however construction on the Project has not started **for any reason** within six (6) months following receipt by FortisAlberta of this Customer Acceptance to Proceed document and the Estimate Print.

If the Project is cancelled by either the Customer or by FortisAlberta, for reasons outside the reasonable control of FortisAlberta, at any time after this Quotation Package has been accepted, the Customer may be responsible for any and all costs incurred by FortisAlberta up to the date of cancellation.

Date of Quotation	February 15, 2024
FortisAlberta Request/Reference #	500120338-03
Customer Distribution Contribution (<i>before tax</i>)	\$20,117.29
GST	\$1,005.86
Customer Distribution Contribution	\$21,123.15
Quoted By	Aron Jones
Company/Customer Name (Please Print):	Town of Picture Butte
Customer Signature:	
Date:	



CAO Report

Our Vision: *Picture Butte is the Community of Choice to work, live and play in Lethbridge County*

Our Mission: *Picture Butte is a thriving community dedicated to serving our people through fiscal responsibility and transparency*

Date: 23rd February, 2024

To: Mayor, Council

From: CAO

North County Recreation Complex study

The consultants have stated that they will have the updated report to me on the 23rd of February. At time of writing I have not received it yet.

Wastewater Project

WSP are working on final design details, and utility right of ways. Aaron and I have regular meetings with WSP regarding this work and Phase 3 of the sanitary main upgrade.

Sunset Park Phase 2

Aaron and I met with Fortis on Thursday the 22nd. We were working out final details for them to remove the power poles and to connect to the installed underground power for Sunset Park Phase 2.

Electric Ice Resurfacer

Chantel and I have been working with Velocity signs to come up with a design that will go on the Olympia that recognises our sponsors and adds some colour to our Olympia. At time of ordering I ordered a plain white Olympia with the thoughts that we would recognise our sponsors with a vehicle wrap. The sponsors logos are quite plain so we worked on a design to add colour to the Olympia while including our sponsors and the Towns logos. The below design has been presented to the sponsors and they are happy with it. We are also happy with it. The plan is to have the Olympia delivered to Velocity signs, have it wrapped and then delivered to the arena for the unveiling. The unveiling date has yet to be determined.

Miscellaneous

- I have been busy working on budget preparations, and this Council meeting agenda items.
- I attended a Picture Butte Interagency meeting with FCSS representatives and were informed of initiatives that they are working on in Picture Butte and area.
- We have received our first ever Freedom of Information and Privacy request for information regarding the accident at the pool that occurred a couple of years ago. We have engaged Brownlee Law firm to help us through this process.

HOLIDAY STATUS

Days in lieu used 15 hrs out of 70 hrs

Accrued Holidays 32 days

Submitted by:

Keith Davis, CAO



Client: Keith Davis

Material: Wrsp+lam

Price: \$

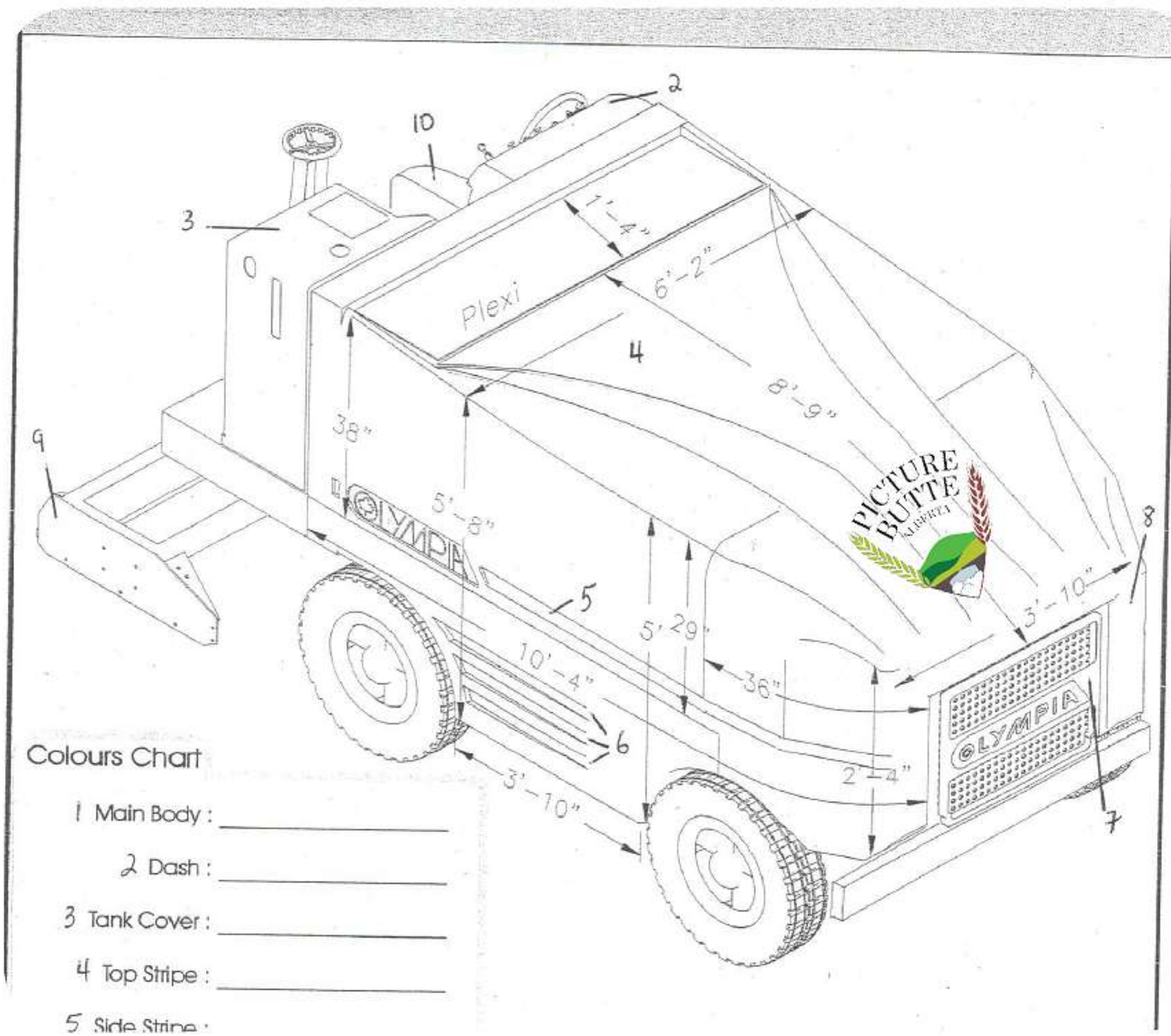
Printer:

Artist: Aleah

Substrate:

Other Notes:

for top



Keith Davis

From: Tyler Gandam <president@abmunis.ca>
Sent: Tuesday, February 20, 2024 2:51 PM
To: Keith Davis
Subject: Webinar Registration - Alberta's 2024 Budget Overview

Dear Mayors, Councillors, and CAOs:

On February 29, the Government of Alberta will release its budget for the 2024-25 fiscal year. As usual, our ABmunis team will conduct a comprehensive analysis and release a report the day after that outlines how the 2024-25 provincial budget supports municipalities.

In addition to our report, we will host a webinar on March 1, 2024, at 3:00 – 4:30 p.m. where we will walk through the numbers, share our perspectives, and provide you the opportunity to ask questions. If you aren't free at that time, don't worry, we will record it and share a link to the video in the next edition of our weekly newsletter. If you aren't subscribed to The Weekly newsletter, sign up for free at <https://www.abmunis.ca/news>.

Any municipal elected official or municipal employee is welcome to attend the budget webinar. [Register for the webinar today!](#)

Lastly, a quick reminder that you are invited to attend our Spring Municipal Leaders' Caucus in Edmonton or online on March 14-15. I hope you choose to join us for two days of educational sessions, networking, and dialogue with provincial ministers and MLAs. [View the MLC agenda.](#)

Thank you,
Tyler Gandam | President

E: president@abmunis.ca
300-8616 51 Ave Edmonton, AB T6E 6E6
Toll Free: 310-MUNI | 877-421-6644 | www.abmunis.ca



This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the sender. This message contains confidential information and is intended only for the individual named. If you are not the named addressee, you should not disseminate, distribute or copy this email.

We respectfully acknowledge that we live, work, and play on the traditional and ancestral territories of many Indigenous, First Nations, Métis, and Inuit peoples. We acknowledge that what we call Alberta is the traditional and ancestral territory of many peoples, presently subject to Treaties 4, 6, 7, 8 and 10 and Six Regions of the Métis Nation of Alberta.

CHEERS TO VOLUNTEERS 2024

Do you know an individual, youth, or group who has made a significant positive impact in your community?

Nominate them to win one of **THREE Outstanding Volunteer Awards**

Eligibility:

- ✓ Live and volunteer within the FCSS service area (Lethbridge County – excluding Lethbridge, M.D. of Taber, or County of Warner).
- ✓ Exemplify a spirit of volunteerism and inspire others.
- ✓ To answer your questions, please contact volunteerservices@fcss.ca or call (403) 915-7063



NOMINATION DEADLINE: MARCH 18TH, 2024



Scan the QR Code or
visit fcss.ca to submit
a nomination!



Cheers to Volunteers - Group Award Nomination Form

The purpose of the FCSS 'Cheers to Volunteers' Award is to recognize the extraordinary contributions of an individual, group, and youth who volunteer their time and skills to provide services and programs in our communities.

One winner will be selected for each category (individual, youth, and group) from across the region.

Guidelines

- The recipient(s) of the award(s) will be chosen through a scored process facilitated by Barons Eureka Warner FCSS and an external judging committee.
All areas of the nomination form must be completed.
- Nominations that are incomplete, late, or do not comply with the criteria below may not be accepted.
- Nominations cannot be submitted without consent from the nominee.
- Nominations made by family members will not be accepted.
- Self-nomination is not permitted.
- Nominees or groups must be notified and agree to the nomination process.
- Nominations become the property of BEW FCSS and will not be returned.

Nomination Criteria

To be considered a strong candidate for this award, volunteers must:

- Reside in one of the Barons Eureka Warner FCSS communities (Barnwell, Barons, Coaldale, Coalhurst, Lethbridge County, County of Warner, Coutts, Milk River, MD of Taber, Nobleford, Picture Butte, Raymond, Stirling, Taber, Vauxhall or Warner). **Please note that volunteers who reside outside of these areas will not be considered.**
- Demonstrate initiative, leadership, and creativity in their service to others
- Exemplify volunteerism.
- Demonstrate the spirit of community service.
- Demonstrate a strong commitment to the community.
- Have a significant impact on the community.
- Inspire volunteerism in others.

Award recipients will receive a certificate, a personalized recognition item, and be invited to participate in a small recognition event scheduled in April 2024. Nominations will also be put forward to provincial or federal volunteer recognition programs, as applicable.

Nomination Deadline: March 18, 2024 @ 4:00 pm

FREEDOM OF INFORMATION

Barons-Eureka-Warner Family and Community Support Services (FCSS) is a public body and therefore the personal information collected using this form and any attachments related to program and service delivery is authorized under the authority of section 33 (c) of the Freedom of Information and Protection of Privacy Act and is protected by the privacy provisions of the Act for the purpose of providing programs and services. The information will be used for service delivery, program evaluation and reporting purposes, and may only be disclosed in accordance to the Act. For further information, please contact the FOIP Coordinator at 403-405-4466 or info@fcss.ca.

Nominee (Group that will be considered for the award)			
Name of Volunteer Group			
Name of Main Contact for Group			
Main Contact's Address			
Community/communities where the group volunteers			
Main Contact's Phone Number			
Main Contact's Email (Please note your submission will NOT be emailed to the nominee)			
Signature of Group Representative		Date	

Nominator (Person filling out the application)			
Name			
Address			
Phone Number			
Email			
Relationship to Nominee			
Signature of Nominator		Date	
Volunteer Involvement	<ul style="list-style-type: none"> • Describe the role the group plays in the community. • Describe the group's involvement within the community or organization. • Approximate number of volunteer hours the group has completed over the past year. • Number of years involved with the organization/group. 		

FREEDOM OF INFORMATION

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In 400 words or less, tell us what stands out about this group. Please include:

- How they inspire volunteerism in others.
- How they demonstrate initiative, leadership, and creativity in their service.
- How they create a lasting impact for residents in their community.
- What makes the group exceptional.
- Any additional information you would like to share.

If you need more space, please attach an extra sheet with this nomination form

On behalf of Barons Eureka Warner Family Community Support Services, we would like to thank you in advance for taking the time to nominate a deserving volunteer group from your community.

Is your nomination complete?

- I have read the award criteria and guidelines
- All sections of the nomination form are complete
- All parties agree to the submission

Nomination forms can be sent to:

Cindy Lauwen
Volunteer Services Coordinator
Box 4893, Taber, AB T1G 2E1
cindy.lauwen@fcss.ca

If you have any questions, please contact Cindy at 403.915.7063

FREEDOM OF INFORMATION

Barons-Eureka-Warner Family and Community Support Services (FCSS) is a public body and therefore the personal information collected using this form and any attachments related to program and service delivery is authorized under the authority of section 33 (c) of the Freedom of Information and Protection of Privacy Act and is protected by the privacy provisions of the Act for the purpose of providing programs and services. The information will be used for service delivery, program evaluation and reporting purposes, and may only be disclosed in accordance to the Act. For further information, please contact the FOIP Coordinator at 403-405-4466 or info@fcss.ca.

Cheers to Volunteers - Individual Award Nomination Form

The purpose of the FCSS 'Cheers to Volunteers' Award is to recognize the extraordinary contributions of an individual, group, and youth who volunteer their time and skills to provide services and programs in our communities.

One winner will be selected for each category (individual, youth, and group) from across the region.

Guidelines

- The recipient(s) of the award(s) will be chosen through a scored process facilitated by Barons Eureka Warner FCSS and an external judging committee. All areas of the nomination form must be completed.
- Nominations that are incomplete, late, or do not comply with the criteria below may not be accepted.
- Nominations cannot be submitted without consent from the nominee.
- Nominations made by family members will not be accepted.
- Self-nomination is not permitted.
- Nominees or groups must be notified and agree to the nomination process.
- Nominations become the property of BEW FCSS and will not be returned.

Nomination Criteria

To be considered a strong candidate for this award, volunteers must:

- Reside in one of the Barons Eureka Warner FCSS communities (Barnwell, Barons, Coaldale, Coalhurst, Lethbridge County, County of Warner, Coutts, Milk River, MD of Taber, Nobleford, Picture Butte, Raymond, Stirling, Taber, Vauxhall or Warner). ***Please note that volunteers who reside outside of these areas will not be considered.***
- Demonstrate initiative, leadership, and creativity in their service to others
- Exemplify volunteerism.
- Demonstrate the spirit of community service.
- Demonstrate a strong commitment to the community.
- Have a significant impact on the community.
- Inspire volunteerism in others.

Award recipients will receive a certificate, a personalized recognition item, and be invited to participate in a small recognition event scheduled in April 2024. Nominations will also be put forward to provincial or federal volunteer recognition programs, as applicable.

Nomination Deadline: March 18, 2024 @ 4:00 pm

FREEDOM OF INFORMATION

Barons-Eureka-Warner Family and Community Support Services (FCSS) is a public body and therefore the personal information collected using this form and any attachments related to program and service delivery is authorized under the authority of section 33 (c) of the Freedom of Information and Protection of Privacy Act and is protected by the privacy provisions of the Act for the purpose of providing programs and services. The information will be used for service delivery, program evaluation and reporting purposes, and may only be disclosed in accordance to the Act. For further information, please contact the FOIP Coordinator at 403-405-4466 or info@fcss.ca.

Nominee (<i>Individual that will be considered for the award</i>)			
Name			
Address			
Community where they volunteer			
Phone Number			
Email (Please note your submission will NOT be emailed to the nominee)			
Signature of Nominee		Date	

Nominator (<i>Person filling out the application</i>)			
Name			
Address			
Phone Number			
Email			
Relationship to Nominee			
Signature of Nominator		Date	
Volunteer Involvement	<ul style="list-style-type: none"> • Describe the role the nominee plays in the community. • Describe the nominee's involvement within the community or organization. • Approximate number of volunteer hours the nominee has completed over the past year. • Number of years involved with the organization/group. 		

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In 400 words or less, tell us what stands out about this nominee. Please include:

- How they inspire volunteerism in others.
- How they demonstrate initiative, leadership, and creativity in their service.
- How they create a lasting impact for residents in their community.
- What makes the nominee exceptional.
- Any additional information you would like to share.

If you need more space, please attach an extra sheet with this nomination form.

On behalf of Barons Eureka Warner Family Community Support Services, we would like to thank you in advance for taking the time to nominate a deserving volunteer group from your community.

Is your nomination complete?

- I have read the award criteria and guidelines
- All sections of the nomination form are complete
- All parties agree to the submission

Nomination forms can be sent to:

Cindy Lauwen
Volunteer Services Coordinator
Box 4893, Taber, AB T1G 2E1
cindy.lauwen@fcss.ca

If you have any questions, please contact Cindy at 403.915.7063

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Cheers to Volunteers - Youth Award Nomination Form

The purpose of the FCSS 'Cheers to Volunteers' Award is to recognize the extraordinary contributions of an individual, group, and youth who volunteer their time and skills to provide services and programs in our communities.

One winner will be selected for each category (individual, youth, and group) from across the region.

Guidelines

- The recipient(s) of the award(s) will be chosen through a scored process facilitated by Barons Eureka Warner FCSS and an external judging committee. All areas of the nomination form must be completed.
- Nominations that are incomplete, late, or do not comply with the criteria below may not be accepted.
- Nominations cannot be submitted without consent from the nominee.
- Nominations made by family members will not be accepted.
- Self-nomination is not permitted.
- Nominees or groups must be notified and agree to the nomination process.
- Nominations become the property of BEW FCSS and will not be returned.

Nomination Criteria

To be considered a strong candidate for this award, volunteers must:

- Reside in one of the Barons Eureka Warner FCSS communities (Barnwell, Barons, Coaldale, Coalhurst, Lethbridge County, County of Warner, Coutts, Milk River, MD of Taber, Nobleford, Picture Butte, Raymond, Stirling, Taber, Vauxhall or Warner). ***Please note that volunteers who reside outside of these areas will not be considered.***
- Demonstrate initiative, leadership, and creativity in their service to others
- Exemplify volunteerism.
- Demonstrate the spirit of community service.
- Demonstrate a strong commitment to the community.
- Have a significant impact on the community.
- Inspire volunteerism in others.

Award recipients will receive a certificate, a personalized recognition item, and be invited to participate in a small recognition event scheduled in April 2024. Nominations will also be put forward to provincial or federal volunteer recognition programs, as applicable.

Nomination Deadline: March 18, 2024 @ 4:00 pm

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Nominee (Individual that will be considered for the award)			
Name			
Address			
Community where they volunteer			
Phone Number			
Email (Please note your submission will not be emailed to the nominee)			
Signature of Nominee		Date	
Signature of Parent/Legal Guardian		Date	

Nominator (Person filling out the application)			
Name			
Address			
Phone Number			
Email			
Relationship to Nominee			
Organization			
Signature of Nominator		Date	
Volunteer Involvement <ul style="list-style-type: none"> Describe the role the nominee plays in the community. Describe the nominee's involvement within the community or organization. Approximate number of volunteer hours the nominee has completed over the past year. Number of years involved with the organization/group. 			

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<p>In 400 words or less, tell us what stands out about this nominee. Please include:</p> <ul style="list-style-type: none"> • How they inspire volunteerism in others. • How they demonstrate initiative, leadership, and creativity in their service. • How they create a lasting impact for residents in their community. • What makes the nominee exceptional. • Any additional information you would like to share. <p><i>If you need more space, please attach an extra sheet with this nomination form.</i></p>	
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On behalf of Barons Eureka Warner Family Community Support Services, we would like to thank you in advance for taking the time to nominate a deserving volunteer group from your community.

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- I have read the award criteria and guidelines
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MINUTES

Attendees: Shari Barendregt, John Papworth, Cynthia Papworth, Estelle Anderson, Sandra Gillies, Cathy Moore, Cheryl Leclair, Penny Sosick
Regrets:

Agenda Item	Discussion	Action
1.0 Call to Order Chair	Meeting called to order by Shari at 4:35 p.m.	
2.0 Standard Motions	2.1 Approval of Proposed Agenda with addition of 5.2 in New Business	Approved by Cathy Second by Sandra Carried
	2.2 Approval of Minutes of March 21, 2023	Approved by Cynthia Second by Estelle Carried
3.0 Treasurers Report	3.1 Undesignated Account - \$52,395.52 Casino Account - \$36,270.77	Approved by Cheryl Second by John Carried
4.0 Old Business	4.1 Plaque for swimming pool – will defer until later in case request received from Town of PB for sun shades/sails	
	4.2 Bee Hive Child Care Center – Request for Funding Funding was previously approved for up to \$5,500.00 upon receipt of invoice. They have almost got purchases done, they will submit when complete.	

North County Health Foundation
Date: September 21, 2023
Piyami Health Centre Meeting Room
Picture Butte

	<p>4.3 PB & District Emergency Services – Request for Funding Funding had been approved for \$20,000.00 towards cost of Cardiac Monitor, upon receipt of invoice. No Invoice received as of yet.</p>	
<p>5.0 New Business</p>	<p>5.1 New Trustee Ashlee Miller is interested in becoming a Trustee. She has been a resident of PB for 2 ½ years and is a teller at ATB. Shari will get forms together and contact her to complete and submit to AHS. Will get Ashlee to attend next meeting to welcome her. Will present her with the Bylaws at that time.</p>	<p>Motion by John to accept Second by Cathy Carried</p>
	<p>5.2 Donation in Memory of Loretta and Ineke With the passing of 2 Trustees it is suggested to make a donation of \$250.00 in Memory of Loretta to Prairie Tractor & Engine Museum and a donation of \$100.00 in Memory of Ineke to Canadian Cancer Society. Letters to families to be prepared as acknowledgement of donations.</p>	<p>Motion by Cheryl to make donations Second by Cathy</p>
	<p>5.3 Tree of Hope Shari will order pamphlets thru MinuteMan Press again and will mail out. Cheryl will distribute to downtown businesses for display. Cynthia will ask to have pamphlet posted on Town of PB website. When doing up Sunny South News “Thank You” in February will add the additional “In Memory of” or “In Honor of” names that are expressed when donations received.</p>	<p>Motion by Penny to proceed with campaign Second by Sandra Carried</p>
<p>6.0 Next Meeting Date</p>	<p>Supper meeting to be held January 17, 2024 at 6:00 p.m. at Eddies Cuisine</p>	
<p>7.0 Adjournment</p>	<p>Meeting adjourned 5:16 p.m.</p>	<p>Motion to adjourn by Estelle</p>

NORTH COUNTY HEALTH FOUNDATION

**Treasurer Report
for
September 21 2023**

Regular acct - 10389 00274 13

Balance forward as at March 21 , 2023 **\$52,445.49**

		Debits	Credits	
Mar 29	Casino Tip Money	v	\$40.00 ✓	
Mar 31	Service Charge	\$0.10 v		
Jul 24	Chq 96 AHS 2.5% share SAGE Accounting program	\$89.87 v		
		SUB	\$40.00	
	BALANCE AT September 21 2023	\$89.97		\$62,395.52

Casino Acct - 10389 00262 12

Balance Forward as at March 21 2023 **\$879.26**

Mar 31	Service Charge	\$3.00 v		
Apr 28	Service Charge	\$3.00 v		
May 15	AGLC - Casino funds	v	\$35,909.51 ✓	
May 31	Service Charge	\$3.00 v		
Jun 14	Chq 22 Green Acres Foundation - Adult Bibs	\$500.00 ✓		
Jun 30	Service Charge	\$3.00 ✓		
Jul 31	Service Charge	\$3.00 ✓		
Aug 31	Service Charge	\$3.00 ✓		
		SUB	\$518.00	\$35,909.51
	BALANCE AT September 21, 2023			\$36,270.77

GRAND TOTAL WITH BOTH ACCOUNTS \$88,666.29

2023



REPORT TO MUNICIPALITIES
FAMILY SERVICES



Strengthening Families in rural Alberta

www.fcss.ca





VISION | Residents living their full potential.

MISSION | FCSS enhances the social well-being of individuals, families and communities within our region.

CORE VALUES:

Integrity | *We strive to be accountable and transparent to all whom we serve.*

Innovation | *We remain open to changing needs and ensure services remain timely and relevant.*

Inclusiveness | *We are committed to building a spirit of acceptance and respect with those we work with and support.*

FAMILY SERVICES

OUTCOME STATEMENT

Parents/Caregivers have increased knowledge, abilities and confidence to develop healthy family relationships and to enhance their child's development.

PRIORITIES:

- Exceed the annual Triple P targets.
- Distribute and complete ASQ's for all infants attending programs.
- Collect evaluations quarterly from all participants attending drop-in programs.
- Promote the importance of early childhood development through social media.

Strengthening Families

INTRODUCTION

FAMILY SERVICES AT A GLANCE

	2023	2022
Total Service Hours	28,143	19,421
Total Service Visits	16,603	12,492
Information and Referrals provided	1,120	1,438
Total New Clients	1,446	1,072
One-time Essential Services	592	809

WHAT WE DO

- Parent Education & Family Support
- Early Childhood Development Programs
- Youth Programs
- Community Events & Family Programs

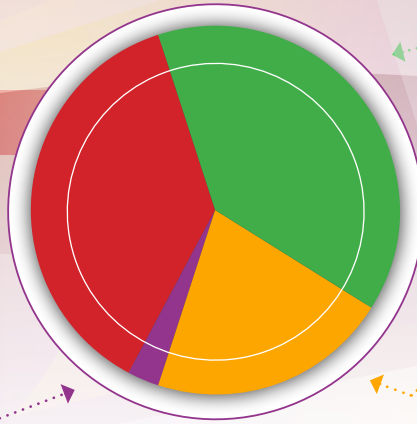


WHO WE SERVE

CLIENT AGE

ADULT AGE 18+ **37%**

SENIOR AGE 55+ **3%**

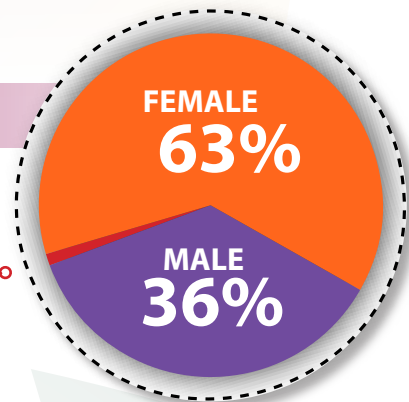


CHILDREN AGE 0-5 **39%**

YOUTH AGE 6-17 **21%**

CLIENT GENDER

NON/BINARY **1%**

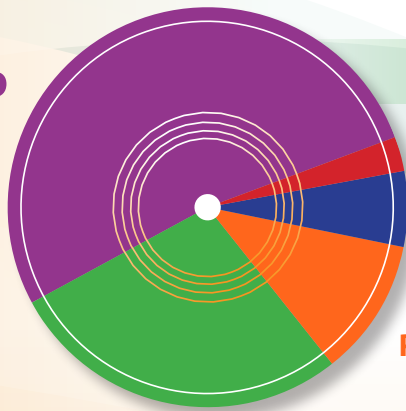


FEMALE **63%**

MALE **36%**

WALK-INS **52%**

EVENT/PROGRAM **28%**



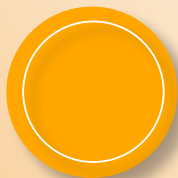
HOW FAMILIES FIND US

WEBSITE/SOCIAL MEDIA **3%**

EMAIL **6%**

PHONE/TEXT **11%**

CLIENT SELF-IDENTIFY AS



LGM **12%**



INDIGENOUS **7%**



2SLGBTQ+ **2%**

PARENT EDUCATION AND SUPPORT PROGRAMS

2,339 Total service hours

1,593 Total service visits

The Family Services team offer a variety of Parent Education and support programs. They are designed to increase the knowledge and confidence of parents/caregivers, thereby building resiliency, healthy families, and improved child and adolescent development.

- Baby Signing • Caregiver Cafe • Baby & Me • Infant Massage • Triple P Discussion groups
- Triple P Fearless • Walk & Talk • Autism Support Group • Down Syndrome Support Group

EVALUATIONS

92% Strongly agree or agree they have more information on what resources are available for their family

93% Strongly agree or agree they are more aware of how their child's needs change as they grow and develop

83% Strongly agree or agree they have met other parents in their neighborhood/community they can ask for help and support

TESTIMONIALS

"Originally, I am from the Ukraine and don't have family here. That is why this course is a lifesaver for me. invited guests were super useful to understand. This is my first baby. Greatly appreciate all the work." – Parent

"I love the sense of community within our group. An incredible facilitator and everyone who comes to class feels welcome. The facilitator is so loving and relatable, too. My kids and I look forward to going each week." – Parent

"I loved seeing how different we Moms are but can still be supportive of each other. How much I learnt about doing for my baby and how to spend more time together." – Parent



ONE-ON-ONE PARENT SUPPORT

1,123 Total service hours

869 Total service visits

110 Caregivers received this service

The Family Support Workers and the Family Liaison Workers provide families with one-on-one Triple P and family support. The purpose of these sessions is to help families increase positive parenting skills, gain knowledge of child development, increase protective factors and build familial resilience. This is done by first helping the family to identify parenting strengths and challenges and then to set goals for positive change and lastly develop a parenting/family plan where new skills and strategies are introduced and practiced. During these sessions staff may also support families with basic needs referrals or help with a financial support application such as child tax benefits.

2023 Most common challenges families report:

- 1 Child behaviour
- 2 Family/Relationship dynamic stress
- 3 Financial stress
- 4 Food security
- 5 Child development/Attachment
- 6 Mental health

2022 Most common challenges families report:

- 1 Child behaviour
- 2 Family/Relationship dynamic stress
- 3 Financial stress
- 4 Mental health concerns
- 5 Self-care
- 6 Child with disability



ONE-ON-ONE PARENT SUPPORT FEEDBACK

EVALUATIONS

	FIRST SESSION SURVEY	MOST RECENT SESSION SURVEY
I am more aware of how my child's needs change and develop as they grow	62.29%	75.51%
I have confidence in my parenting skills	44.89%	66.33%
I have more information on what resources are available for my family	69.39%	79.59%

TESTIMONIALS

WHAT DID YOU LIKE BEST ABOUT OUR TIME TOGETHER?

"The practical ways to put into practice the principles that were taught." – Parent

"The facilitator is very easy to talk to. I enjoyed how invested she was in helping both my child and my family as a whole." – Parent

"I feel more confident and happier after doing this program I feel like I can parent again and that I'm excited about it. This program brought the joy of parenting back in me." – Parent

"I learned how to more effectively handle my child's emotions and speak to him on a level playing field. I feel that I am more in tune with him. I feel more in sync with him and feel more confidence in speaking with him." – Parent

"When we went over my child's temperament it really helped me understand my child better and how my husband and I could change how we parented to fit his temperament style better." – Parent

REFLECTIONS

"I felt like I was going down. It was tough leaving my child at school as he was struggling to stay there. I started Stay and Play, then Triple P Parenting and then Conversation classes. I also now send my oldest two children to Do Drew Jr. and that really helps! It made my life easier and my daughter's life too. I know it has made a difference in her too. Since my child is very strong willed, the parenting classes are helping and I feel less stressed. It makes it easier to parent. Now, just in the last week, I am enjoying doing my housework. It makes a huge difference just getting out of the house. I don't need to go and talk about my stress. For me it's just getting out and realizing that I'm not alone, to see there are more people who feel the same way. I now feel supported. Now, I want to have people over, where before I didn't. I also want to start sewing again. Coming here has made a huge difference to me and my family!" – Parent

"I am grateful for the support I received from my family support worker. She has helped me navigate the hard road I am on. My children are all dealing with the separation in different ways. They have been angry, closed off, trouble sleeping at night, clingy. It has been hard. I have really appreciated the parenting help. I am trying to be present, mindful of their feelings and patient when they express their feelings. I feel more confident as a parent, although some days it is still a struggle, but I know I can come here to get support and encouragement. She helped me with finding a counsellor for myself, and the online separation class I took. Also, the food we receive at times is very much appreciated. Thank you so much." – Parent

EARLY CHILDHOOD DEVELOPMENT PROGRAMS

24,771 Total service hours

10,782 Total visits

Early childhood development programs are designed for caregivers and children aged 0-6 to attend together, learn new skills through play, meet other families and get connected to resources in their community.

- Stay & Play • Outdoor Play • Physical Literacy (Move it, Move it) • Summer Fun

EVALUATIONS

88%

Strongly agree or agree they are more aware of how their child's needs changes as they grow and develop

91%

Strongly agree or agree they have more information on what resources are available for their family

88%

Strongly agree or agree they have met other parents in their neighborhood/community they can ask for help and support

TESTIMONIALS

"I like to see how my children, despite the language barrier, play and communicate with other children." – Parent

"We learn new things every day, starting with new English words, what possibilities there are in the community and much more. I like that the children here learn to communicate with other children and solve conflicts and find agreements." – Parent

"I like the inviting environment & the local location. I appreciate that there is a place that I can consistently take my child to play & interact, outside the home." – Parent

"Meeting new moms; Without FCSS, I wouldn't have the strong circle of support I do now. Such a relief to have." – Parent

"Having this service, especially in the winter, as a first time mom has been huge for me. My mental & emotional health has been hugely benefiting from this. Thank you." – Parent



YOUTH PROGRAMS

1,383 Service hours

930 Service visits

The Family Services team offers programs for youth ages 6-14. These programs are designed to provide a safe and inclusive environment for youth where they can make social connections and learn new skills.

- Do Crew Jr
- Rainbows
- Lego Club
- Indigenous Arts & Culture
- After School programs

EVALUATIONS

90% Strongly agree or agree they know adults they can go to for help

91% Strongly agree or agree that they understand that it is okay to be themselves

TESTIMONIALS

"I know that I can talk to adults about stuff that is going on in my life and who are the safe adults I can talk to." – Youth

"It's FUN! It doesn't matter what gender you are, girls can play with boys. Loved all the activities and the snacks." – Youth

"We learned lots about team work, and how to communicate better. We did activities that made us learn about trust and emotions. I also really liked making ice cream!" – Youth



FAMILY & COMMUNITY EVENTS

3,129 Service visits

150 Events

Community events and family programming during 2023 included Clothing Fests, Family Nights, Corn Fest, Pride, National Indigenous peoples Day Celebrations, Farmers markets, back to school events and cultural programming.

EVALUATIONS

93%

Strongly agree or agree they have more information on what resources are available to their family.

93%

Strongly agree or agree they have met other parents in their neighbourhood/community they can ask for help and support.



MEET THE FAMILY SERVICES TEAM



Tashina Calf Robe



Kim Febr



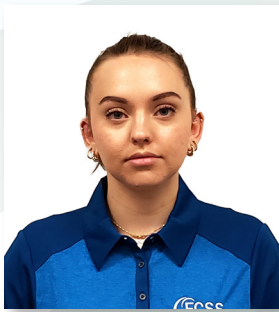
Janet Fekete



Jackie Fiorino



Kim Forchuk



Susana Friesen



Jessica Goodrider-Loewen



Kim Hardy



Susy Hiebert



Maria Klassen



Stacey Maynes



Penny Pittman



Margarita Sawatsky



Christie Saddleback



Myrna Sopal



Lauren Tams



Jess Walton



Amanda Weaselfat



Amanda Webster



Serving:

Barnwell | Barons | Coaldale | Coalhurst | Lethbridge County
County of Warner | Coutts | Milk River | M.D. of Taber | Nobleford
Picture Butte | Raymond | Stirling | Taber | Vauxhall | Warner

Healthier Together Resource Fair



For newcomers and
Spanish-speaking families

What is a resource fair?

An opportunity to connect with local service providers and agencies who can support you and your family!

FREE
Event!

Childcare
Available!

Snacks, Games,
and Prizes!

March 1st, 2024 from 6:00-7:30 pm

Picture Butte Community Centre



www.fcss.ca



403-915-8803



HEALTHIER
TOGETHER.CA

**Barons-Eureka-Warner Family & Community Support Services (FCSS)
Minutes of Board Meeting – Wednesday, December 6, 2023
Lethbridge County Office (#100, 905 – 4th Ave. South, Lethbridge)
In-person and Online**

Attendance (in-person)

Board Members:

Degenstein, Dave – Town of Milk River, Chair
Chapman, Bill - Town of Coaldale, Vice-Chair
Bekkering, Garth – Town of Taber
Caldwell, Heather – Town of Coalhurst
Coad, Ray – Town of Vauxhall
Doell, Daniel – Village of Barons
Feist, Teresa - Town of Picture Butte
Foster, Missy – Village of Barnwell
Harris, Merrill – M.D. of Taber
Heggie, Jack – County of Warner
Hickey, Lorne – Lethbridge County
Jensen, Kelly – Town of Raymond
Kirby, Martin – Village of Warner
Nilsson, Larry – Village of Stirling

Attendance (on-line):

Payne, Megan – Village of Coutts
Jensen, Melissa – Town of Nobleford

Staff (in-person):

Morrison, Zakk - Executive Director
Florence-Greene, Evelyn – Accounting Assistant
Hashizume, Linda – Executive Assistant

Call to Order

D. Degenstein called the meeting to order at 4:00 p.m.

Approval of Agenda

L. Nilsson moved the Board approved the agenda as presented.

Carried Unanimously

Minutes

T. Fiest moved the minutes of the November 1, 2023, FCSS Board meeting be approved as presented.

Carried Unanimously

Business Arising from Minutes

Family and Community Support Services Association of Alberta (FCSSAA)
Conference

JA M

K. Jensen, D. Doell, R. Coad and L. Hickey discussed the FCSSAA Conference they attend.

Z. Morrison shared that Michelle McKenzie was re-elected to the position of FCSSAA South Region representative.

G. Bekkering moved to receive the Business Arising from the minutes as presented for information.

Carried Unanimously

Correspondence

The following correspondence was presented for information:

- Food Security Guidelines for Food Banks and Community Organizations
- FCSSAA Board Meeting Highlights October 12, 2023
- FCSSAA November News
- FCSSAA Annual Report 2023
- 2023-10-27 – Town of Raymond – Kelly Jensen appointed to FCSS Board
- 2023-10-27 – Town of Coaldale – Bill Chapman appointed to FCSS Board
- 2023-10-30 – Village of Coutts – Megan Payne appointed to FCSS Board
- 2023-10-30 – Town of Milk River – Dave Degenstein appointed to FCSS Board
- 2023-10-31 – Town of Nobleford – Melissa Jensen appointed to FCSS Board
- 2023-10-31 – Village of Warner – Martin Kirby appointed to FCSS Board
- 2023-10-26 – Town of Taber – Garth Bekkering appointed to FCSS Board
- 2023-11-15 – Town of Picture Butte – Teresa Feist appointed to FCSS Board

M. Harris moved to receive the correspondence as presented for information.

Carried Unanimously

Reports

Executive Director

Z. Morrison reviewed the Executive Director's report.

The following was highlighted:

- Monthly Message. **#OvercomingHolidayBlues**. For many, the holiday season is filled with fun, friends and family, and happiness. But, for others, the holiday season can be a reminder of challenging times, the loss of a loved one, or feelings of loneliness. Visit: <https://fcss.ca/monthly-message/overcomingholidayblues/>

M. Foster entered the Board meeting at 4:20

L. Hickey moved the Board to approve the Executive Director's Report as presented.

Carried Unanimously



Financial Report

Z. Morrison reviewed the Financial Report.

The Board discussed the Financial Report and monthly accounts.

J. Heggie moved the Board approve the October 2023 Financial Report including:

- Financial statement for October 31, 2023;
- Monthly accounts for October 1-31, 2023;
- Mastercard statement for October 12 to November 13, 2023.

Carried Unanimously

New Business

Interim Budget 2024

Z. Morrison presented the proposed interim budget for 2024.

The Board discussed the interim budget.

**Barons-Eureka-Warner FCSS
Proposed Interim Budget 2024**

REVENUE

Provincial FCSS funding	1,493,196
Municipal Requisitions	440,328
Interest Income	25,000
Revenue Other	70,656
Family Resource Network (Children's Services)	588,500
Farm Family Outreach (Canadian Red Cross)	5,949
Youth Services (ESDC)	30,389
Project Grant Funding	2,735
TOTAL	2,656,753

EXPENDITURES

Counselling Services	693,111
Family Services	721,197
Program Support	280,879
Senior Services	226,072
Youth Services	107,921
Youth Services (ESDC)	30,389
Family Resource Network (Children's Services)	588,500
Farm Family Outreach (Canadian Red Cross)	5,949
Project Grant Funding	2,735
TOTAL	2,656,753

Handwritten initials and date: ZM 12-6

L. Hickey moved the Board approve the interim budget as presented.
Carried Unanimously

Municipal Requisitions

The Board discussed the 2024 Municipal Requisition rate.

G. Bekkering moved the Board approve 0% increase in the Municipal Requisition for 2024.

Carried Unanimously

All-Councils meeting 2024

The All-Councils meeting was discussed.

T. Fiest moved the Board approve FCSS to host the All-Council Meeting on a two-year cycle rotation.

Carried

Plaque Presentation

M. Harris was presented with a plaque by the FCSS Board recognizing his 6 years as Board Chair for FCSS.

The Board thanked M. Harris for his years of service.

Round Table:

M. Harris mentioned that he and B. Chapman attended the RMA provincial convention.

H. Caldwell mentioned that the Town of Coalhurst is hosting Santa's Gone Looney event.

R. Coad appreciates the support he has received.

B. Chapman attended the RMA convention with M. Harris, The FCSS Women in Farming Conference was of great interest to the Mayors and Reeves.

B. Chapman tasked Z. Morrison to look into the vandalism of the DO Crew's Little Pantry.

Z. Morrison responded that the door to the pantry has been replaced with a modified door with 4 separate panes of acrylic.

Z. Morrison thanked both M. Harris and B. Chapman for their support and leadership.

D. Degenstein asked that childcare be offered for Board Members with small children during Board Meetings.

Z. Morrison responded when notice is given prior to the Board meeting, FCSS could accommodate the childcare request.

Date of Next Meeting

The date of the next regular Board meeting will be February 7, 2024, at the Coaldale Hub (2107-13th Street) in-person and online (via Teams) starting at 4:00 p.m.

Adjournment

M. Harris moved the meeting adjourn at 5:14 p.m.

Carried Unanimously



Chairperson



Executive Director

